



CAPITAL PROJECTS DIVISION

PROGRAM UNIT: PROJECT MANAGEMENT DEPARTMENT TEAM 5

DESIGN DEPARTMENT

24-02 49TH AVENUE, LONG ISLAND CITY, NY 11101

ATLANTIC TERMINAL SITE 4B

487 CARLTON AVENUE
Brooklyn, New York 11238

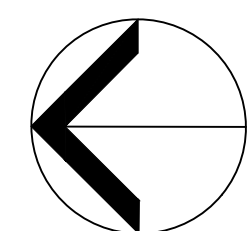
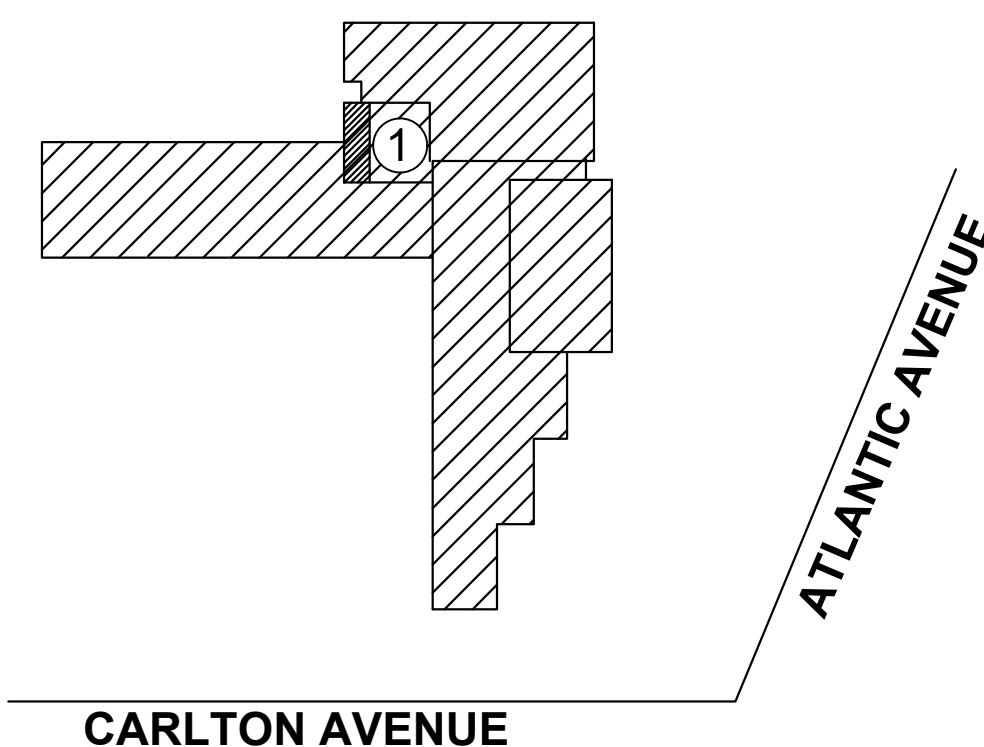
RFQ No.293849

CONTRACT TITLE: ELEVATOR REHABILITATION AND MAINTENANCE AND SERVICE FOR THREE (3) ELEVATORS - ELEVATOR PACKAGE

BUILDING ADDRESS AND ELEVATOR DATA									
BLDG No.	BUILDING ADDRESS	ELEVATOR DESIGNATION	NYC ID NUMBER	FLOORS SERVED	TOTAL TRAVEL	CAPACITY (LBS.)	SPEED (FPM)	BLOCK	LOT
1	487 CARLTON AVENUE	CAR #1	3P7210	1 TO 31	259'-11"	2500	500	2007	1
		CAR #2	3P7211	1 TO 31	259'-11"	2500	500	2007	1
		CAR #3	3P7212	1 TO 31	259'-11"	2500	500	2007	1

PHASING AND SEQUENCING NOTES

- ALL REFERENCES TO THE "CONTRACTORS" IN THIS SERIES OF NOTES SHALL BE UNDERSTOOD, UNLESS OTHERWISE STATED TO INCLUDE BOTH THE ELECTRICAL CONTRACTOR (RFQ #293851) AND THE ELEVATOR MODERNIZATION CONTRACTOR (RFQ #293849).
- THE MAJORITY OF WORK DURING EACH PHASE WILL BE EXECUTED BY THE ELEVATOR MODERNIZATION CONTRACTOR. THE ELECTRICAL CONTRACTOR MUST EXECUTE THEIR CONTRACTUAL SCOPE OF WORK WITHIN THE SAME TIME PERIOD. THE TWO CONTRACTORS SHALL COORDINATE, COOPERATE AND SEQUENCE THEIR WORK AS NOT TO INTERFERE, DISRUPT OR OTHERWISE CAUSE DELAYS TO THE OTHER PARTY.
- THE ELECTRICAL CONTRACTOR SHALL SCHEDULE THEIR WORK UNDERSTANDING THE SCOPE OF WORK OUTLINED IN THE ELEVATOR MODERNIZATION CONTRACT DOCUMENTS. THE ELEVATOR MODERNIZATION CONTRACTOR SHALL AT ALL TIMES COOPERATE AND COORDINATE WITH THE ELECTRICAL CONTRACTOR; PROVIDING ACCESS TO ALL AREAS OF THE PROJECT SITE; INCLUDING BUT NOT LIMITED TO THE MACHINE ROOM, ELEVATOR SHAFTWAYS AND ELEVATOR PITS.
- ELEVATOR WORK TO BE COMPLETED IN THREE (3) PHASES WITH ONE (1) ELEVATOR IN EACH PHASE. IN DEFINING THE SEQUENCE OF ELEVATORS TO BE TAKEN OFF-LINE AT ANY GIVEN TIME, THE CONTRACTOR MUST SELECT THE ONE (1) ELEVATOR PER PHASE WITH A MAXIMUM OF ONE (1) ELEVATOR IN THE BUILDING THAT CAN BE TAKEN OUT OF SERVICE AT ONE TIME.
- THE PHASING AND SEQUENCING OF WORK DESCRIBED ABOVE MUST BE BASIS OF THE CONTRACTORS BID. CHANGES TO THIS PROPOSED PHASING AND SEQUENCING WILL NOT BE CONSIDERED AT THIS TIME IN THE PROJECT. THEREFORE THE BIDDERS MUST USE THIS PHASING AND SEQUENCING.



SITE / KEY PLAN

LIST OF DRAWINGS	
NO.	TITLE
T-001.00	TITLE SHEET
G-001.00	GENERAL NOTES AND RISER DIAGRAM
EV-101.00	ELEVATOR LAYOUTS
EV-201.00	NYCHA STANDARD ELEVATOR CAB AND ENTRANCE DETAILS
EV-202.00	NYCHA STANDARD ELEVATOR CAB AND ENTRANCE DETAILS

BY DATE	Rev. No.	SUBMISSION
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Development: ATLANTIC TERMINAL SITE 4B
 Building Address: 487 CARLTON AVENUE
 Building No.(s): 1
 Borough of: Brooklyn
 ORACLE No: 9161

RECOMMENDED FOR BID (For Procurement ONLY)

NAME/TITLE	SIGNATURE/DATE
Project Architect	_____
Daniel Michaels	_____
Project Engineer	_____
Hany Shenouda, P.E.	_____
Design Department - Deputy Director	_____
Robert Fundis	_____
Senior Construction Mgr.	- Team 5
NA	_____
EPM - Project Mgmt. Dept.	- Team 2
NA	_____
EPM - Project Mgmt. Dept.	- Team 3
Oliver Osterwind, P.E.	_____
VP Project Mgmt. Dept.	_____

Zone No.: R7-2 Zoning Map No.: 16c
 Block No.: 2007 Lot No.: 1
 E.D.P. No.: 384
 Development No.: NY005189

Contract Title:
 ELEVATOR REHABILITATION AND MAINTENANCE AND SERVICE FOR THREE (3) ELEVATORS - ELEVATOR PACKAGE
 RFQ No.: 293849

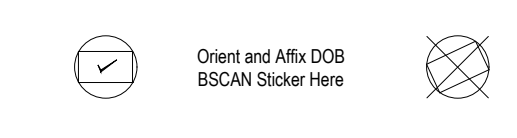
Drawing Title:
TITLE SHEET

Seal & Signature:

Drawn By: Jay Namenwirth
 Checked By: Daniel Michaels
 Date: March 25, 2021
 Scale: N.T.S.

Drawing No.: **T-001.00**

Sheet: 1 OF 5



GENERAL NOTES

- THESE GENERAL NOTES APPLY TO ALL DRAWINGS AND ELEVATORS
- ALL EQUIPMENT SHALL BE NEW UNLESS OTHERWISE NOTED AS EXISTING
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE BUILDING CODE OF NEW YORK CITY, ASME A17.1, AND WITH THE RULES AND REGULATIONS OF ALL LOCAL AGENCIES, DEPARTMENTS OR LAWS HAVING JURISDICTION OVER ANY PORTION OR SPECIFIC PHASE OF THE WORK. THE CONTRACTOR SHALL COORDINATE THE WORK WITH PUBLIC UTILITY COMPANIES HAVING JURISDICTION.
- ALL WORK WILL BE IN ACCORDANCE WITH THE NEW YORK CITY FIRE CODE, THE ENERGY CONSERVATION CODE AND ALL LOCAL AND STATE ZONING AND BUILDING CODES AND ORDINANCES HAVING JURISDICTION.
- THE CONTRACTOR WILL GUARANTEE TO THE OWNER THAT ALL MATERIALS AND EQUIPMENT INCORPORATED IN THE WORK WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE OF GOOD QUALITY, FREE FROM DEFECTS AND FAULTS FOR ONE (1) YEAR STARTING FROM THE DATE OF FINAL ACCEPTANCE OF EACH ELEVATOR.
- THE CONTRACTOR WILL CHECK AND VERIFY ALL CONDITIONS AT THE SITE BEFORE STARTING OF WORK AND HE/SHE WILL FAMILIARIZE HIM/HERSELF WITH THE INTENT OF THESE PLANS AND MAKE SURE WORK AGREES WITH SAME. IF DURING CONSTRUCTION A CONDITION EXISTS WHICH DISAGREES WITH THAT INDICATED ON THE PLANS, THE CONTRACTOR WILL STOP WORK AND NOTIFY THE NYCHA REPRESENTATIVE. SHOULD HE/SHE FAIL TO FOLLOW THIS PROCEDURE AND CONTINUE WITH THE WORK, HE/SHE WILL ASSUME ALL RESPONSIBILITY AND LIABILITY ARISING FROM HIS/HER ACTIONS.
- ALL AND ANY DAMAGES AND VOIDS CAUSED BY REMOVAL AND/OR REPLACEMENTS SHALL BE REPAIRED TO MATCH FLUSH WITH SURROUNDING AREAS.
- ALL EXISTING CONSTRUCTION INDICATED TO REMAIN THAT IS DISTURBED OR DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED, PATCHED OR REPLACED TO ITS ORIGINAL CONDITION AS PART OF THE CONTRACTORS SCOPE OF WORK AT NO COST TO THE AUTHORITY.
- ALL WORK SHALL BE COORDINATED WITH THE REPRESENTATIVES OF THE NEW YORK CITY HOUSING AUTHORITY DURING ALL PHASES OF CONSTRUCTION.
- THE CONTRACTOR SHALL REVIEW ALL DRAWINGS AND SPECIFICATIONS TO DETERMINE THE FULL EXTENT OF THE WORK OF THIS CONTRACT.
- ALL WORK IS COVERED BY THE CONTRACT SPECIFICATIONS AND DRAWINGS, INCLUDING GENERAL CONDITIONS AND AMENDMENTS TO CONTRACT CONDITIONS.
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND FEES, AFFIDAVITS, FINAL APPROVALS, TESTS, INSPECTIONS, AND ANY OTHER DOCUMENTS REQUIRED DURING THE CONSTRUCTION PROCESS BY THE DEPARTMENT OF BUILDINGS OR ANY OTHER AGENCY HAVING JURISDICTION OVER THE WORK PERFORMED UNDER THIS CONTRACT.
- LOCATIONS OF ALL EQUIPMENT ARE APPROXIMATE. EXACT LOCATIONS TO BE VERIFIED IN THE FIELD. THE LOCATION OF THE EQUIPMENT SHALL BE ADJUSTED AS NECESSARY TO SUIT THE FIELD CONDITIONS. OBTAIN NYCHA APPROVAL OF NEW EQUIPMENT LOCATION PRIOR TO INSTALLATION.
- WHERE THE INSTALLATION IS INCOMPLETE AT THE END OF THE WORKING DAYS, THE CONTRACTOR SHALL ADEQUATELY PROTECT AND SECURE THE AREAS.
- IN GENERAL THE CONTRACTOR SHALL PROTECT ALL EQUIPMENT UNTIL FINAL ACCEPTANCE. ANY EQUIPMENT DAMAGED BY THE CONTRACTOR OR HIS/HER EMPLOYEES SHALL BE RESTORED TO ITS ORIGINAL CONDITION OR REPLACED IN KIND WITHOUT ADDITIONAL COST TO THE AUTHORITY.
- ALL DIMENSIONS SHALL BE FIELD VERIFIED
- BRING ANY DISCREPANCIES FOUND WITHIN THE CONTRACT DOCUMENTS TO THE ATTENTION OF NYCHA REPRESENTATIVE FOR RESOLUTION. IN GENERAL, WHEN THE DRAWINGS AND SPECIFICATIONS CONFLICT, THE SPECIFICATIONS SHALL CONTROL QUALITY, MATERIALS AND INSTALLATION REQUIREMENTS; THE DRAWINGS SHALL CONTROL SIZE AND LOCATION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS CONFIRMED BY FIELD CONDITIONS TAKE PRECEDENCE.
- ALL SECTIONS AND DETAILS SHALL BE CONSIDERED TYPICAL AND APPLY FOR THE SAME AND SIMILAR CONDITIONS, UNLESS OTHERWISE SPECIFICALLY NOTED.
- ANY ITEM OF WORK NECESSARY FOR PROPER COMPLETION OF CONSTRUCTION, WHICH IS NOT SPECIFICALLY COVERED ON THE DRAWINGS AND OR SPECIFICATIONS SHALL BE CONSIDERED INCLUDED IN THIS WORK AND SHALL BE PERFORMED IN A MANNER DEEMED GOOD PRACTICE OF THE TRADE INVOLVED.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR THE ACTS AND OMISSIONS OF ALL HIS/HER EMPLOYEES AND ALL SUBCONTRACTORS, THEIR AGENTS, EMPLOYEES AND ALL OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
- CONTRACTOR SHALL NOTIFY NYCHA REPRESENTATIVE IMMEDIATELY IF HE OR SHE CANNOT COMPLY WITH ALL REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS AND THE BUILDING CODE OF NEW YORK CITY.
- THE NYCHA REPRESENTATIVE SHALL NOT BE RESPONSIBLE FOR ANY CHANGES TO THIS PROJECT MADE BY THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR OR MATERIAL SUPPLIER UNLESS PROPERLY AUTHORIZED, IN WRITING, BY THE NYCHA REPRESENTATIVE.
- THE CONTRACTOR SHALL ADHERE TO EQUIPMENT AND MATERIALS MANUFACTURER'S PRINTED INSTRUCTIONS AND SPECIFICATIONS.
- ALL DRAWINGS, SPECIFICATIONS, AND COPIES SHALL REMAIN THE PROPERTY OF NYCHA. THEY ARE TO BE USED ONLY WITH RESPECT TO THE CONTRACTORS WORK AND ARE NOT TO BE USED IN ANY MANNER ON ANY OTHER PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF WORK INCLUDING ALL SUBCONTRACTORS, I.E. MECHANICAL, ELECTRICAL, AND PLUMBING TRADES, AS APPLICABLE.
- CONTRACTOR SHALL BE LICENSED AND INSURED AS REQUIRED BY LAW AND THE AGENCY HAVING JURISDICTION (AHJ).
- ALL NOTES APPLY TO ALL CONTRACTORS AND ALL PERSONS EMPLOYED BY OR REPRESENTING SUCH CONTRACTORS.
- BY ENTERING INTO CONTRACT ON THE CONSTRUCTION, THE CONTRACTOR ACCEPTS THE RESPONSIBILITY TO BE KNOWLEDGEABLE AS TO THE REQUIREMENTS OF THE NEW YORK CITY GOVERNING CODES AND OTHER FEDERAL, STATE AND LOCAL ORDINANCES HAVING JURISDICTION THE REQUIREMENTS OF THE FOREGOING CODES AND ORDINANCES SHALL SUPPLEMENT THE REQUIREMENTS SHOWN ON THE DRAWINGS AND ELSEWHERE IN THE SPECIFICATIONS AND IN THE EVENT OF CONFLICT WITH THE SPECIFICATIONS, THE REQUIREMENTS OF THE CODE OR ORDINANCE SHALL PREVAIL UNLESS THE ARCHITECTURAL SPECIFICATION IS MORE STRINGENT. NON FAMILIARITY WITH THE REQUIREMENTS OF GOVERNING CODES OR ORDINANCES WILL NOT BE CAUSE FOR AN "EXTRA" IN THE EVENT OF NONCOMPLIANCE. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR ALL COSTS OF REMOVAL OR NON-COMPLYING WORK AND REPLACEMENT WITH COMPLYING WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK, EXISTING CONSTRUCTION TO REMAIN AND ADJACENT PROPERTY DURING DEMOLITION/CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, AND OFF ALIGNMENTS ACCORDING TO CODE AND STANDARDS OF ACCEPTABLE PRACTICE.

ASBESTOS NOTE

- REGARDING THE MATERIALS SPECIFIED FOR THIS PROJECT, NO NEW ASBESTOS CONTAINING MATERIALS (ACM) HAVE BEEN SPECIFIED OR SHALL BE USED IN THE PROJECT CONSTRUCTION. ALL BUILDING MATERIAL CONTAINING ACM ARE TO BE ABATED BY OTHERS (I.E. BRAKE SHOES AND CONTROLLER WIRING). IF ASBESTOS OR ASBESTOS CONTAINING MATERIALS ARE ENCOUNTERED IN THE CONSTRUCTION PERIOD, ALL WORK WILL CEASE AND THE CONTRACTOR WILL NOTIFY NYCHA PRIOR TO UNDERTAKING NECESSARY ABATEMENT PROCEDURES IN ACCORDANCE WITH INDUSTRIAL CODE RULE 56.

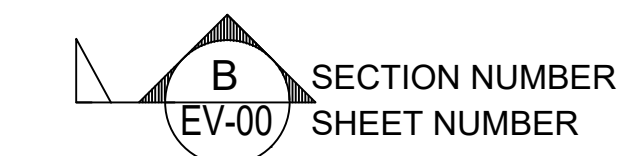
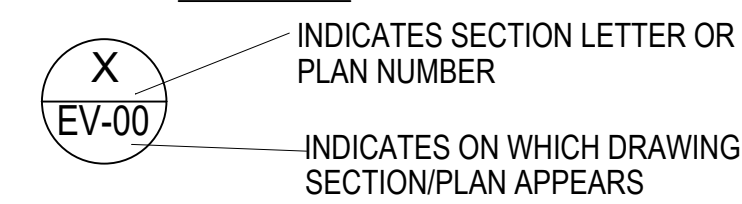
OCCUPANCY SAFETY NOTES

- CONSTRUCTION OPERATION WILL BE CONFINED TO NORMAL WORKING HOURS 8:00 AM THROUGH 4:00 PM, MONDAYS THROUGH FRIDAYS, EXCEPT LEGAL HOLIDAYS. CONTRACTOR MUST OBTAIN WRITTEN PERMISSION FROM ALL AFFECTED PARTIES, TO WORK OTHER THAN REGULAR HOURS.
- THE CONTRACTOR SHALL BE COURTEOUS TO THE OCCUPANTS AND COOPERATE FULLY WITH THE REQUIREMENTS OF THE DEVELOPMENT MANAGEMENT. ANY EMPLOYEE THAT ACTS IN AN UNSATISFACTORY MANNER SHALL BE REMOVED FROM THE SITE AND NOT BE ALLOWED TO RETURN. ALL CONTRACTOR EMPLOYEES SHALL BE REQUIRED TO SUPPLY IDENTIFICATION.
- CONSTRUCTION OPERATIONS SHALL NOT BLOCK HALLWAYS OR MEANS OF EGRESS FOR THE BUILDING OCCUPANTS, OR NYCHA'S EMPLOYEES AND SHALL BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS SUCH AS BUILDING MATERIALS, TOOLS, ETC.
- ALL NEW AND EXISTING MATERIALS SHALL NOT BE STORED IN ANY PUBLIC AREAS OR OBSTRUCT ANY REQUIRED MEANS OF EGRESS.
- THE CONTRACTOR SHALL INSTITUTE AND MAINTAIN SAFETY MEASURES AND PROVIDE ALL EQUIPMENT OR TEMPORARY CONSTRUCTION NECESSARY TO SAFEGUARD ALL PERSONS AND PROPERTY AFFECTED BY THE CONTRACTOR'S OPERATION. ALL TEMPORARY FACILITIES AND CONTROLS SHALL COMPLY WITH THE REQUIREMENTS OF THE AHJ, OSHA, AND THE SPECIFICATIONS, THE COSTS FOR WHICH SHALL BE A PART OF THIS CONTRACT.
- PLAN THE WORK AND EXECUTE IN AN ORGANIZED AND ORDERLY MANNER. DANGER AND WARNING SIGNS SHALL BE PROMINENTLY DISPLAYED, AND EXERCISE EVERY PRECAUTION TO PROTECT PEDESTRIANS, BUILDING OCCUPANTS, THE PUBLIC, AND NYCHA EMPLOYEES.
- ERECT CONSTRUCTION BARRIERS AROUND THE WORK AREA. KEEP DUST AND NOISE AT A MINIMUM. BARRICADES SHALL NOT HAVE PROTRUDING NAILS OR SHARP JAGGED EDGES.
- CONSTRUCTION WORK WILL BE CONFINED TO THE WORK AREAS AND SHALL NOT CREATE DUST, DIRT, OR OTHER INCONVENIENCES TO THE REMAINDER OF THE BUILDING OR SITE.
- DEBRIS AND DIRT SHALL BE CLEANED UP AND CLEARED FROM THE BUILDING AT THE END OF EACH DAY. CONTRACTOR SHALL COMPLY WITH ALL AHJ AND REGULATORY REQUIREMENTS FOR REMOVALS FROM THE AREAS OF WORK TO THE DEBRIS CONTAINERS. RECYCLE ALL MATERIALS POSSIBLE.
- CONSTRUCTION OPERATIONS THAT NECESSITATE THE INTERRUPTION OF HEATING, WATER, GAS OR ELECTRICAL SERVICES TO TENANTS IN THE BUILDINGS, SHALL BE CARRIED OUT IN STRICT ACCORDANCE WITH NEW YORK CITY HOUSING AUTHORITY REGULATIONS.
- THE LOCATION OF ALL EXISTING UTILITIES AND SERVICE LINES SHALL BE DETERMINED AND ADEQUATE MEASURES TAKEN, OR DEVICES PROVIDED, TO SAFEGUARD THE PUBLIC AND PROPERTY BEFORE SUCH UTILITIES ARE DISTURBED. IF ANY UTILITY IS TO BE REMOVED, RELOCATED OR HAVE ITS SERVICE INTERRUPTED, THE NEW YORK CITY HOUSING AUTHORITY AND THE UTILITY COMPANY OR CITY AGENCY AFFECTED SHALL BE NOTIFIED AT LEAST THREE (3) DAYS IN ADVANCE.
- FIRE PREVENTIVE OR OTHER FACILITIES THAT HAVE BEEN PROVIDED FOR THE PROTECTION OF LIFE, HEALTH AND PROPERTY SHALL BE CONTINUOUSLY MAINTAINED AND PROTECTED UNLESS AUTHORIZATION IS OBTAINED FROM THE AGENCY HAVING JURISDICTION TO TEMPORARILY DISCONNECT SUCH FACILITY.
- FIRE SAFETY:
 - ALL BUILDING MATERIALS WHICH ARE STORED AT THE SITE IN A CONTAINER OR ANY AREA OF THE BUILDING ARE TO BE STORED IN A LOCKED AREA. CONTRACTOR SHALL PROVIDE HIS OWN LOCK AND KEY, BUT A DUPLICATE KEY SHALL BE PROVIDED TO THE DEVELOPMENT SUPERINTENDENT.
 - ALL MATERIALS TO BE STORED IN AN ORDERLY FASHION.
 - ALL FLAMMABLE MATERIALS TO BE KEPT TIGHTLY SEALED IN THEIR RESPECTIVE MANUFACTURER'S CONTAINERS. SUCH MATERIALS ARE TO BE KEPT AWAY FROM HEAT.
 - ALL FLAMMABLE MATERIALS TO BE USED AND STORED IN ADEQUATELY VENTILATED PLACE
 - AN APPROVED TYPE "ABC" FIRE EXTINGUISHER SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR ON A WALL FOR EACH STORAGE AREA.
- DUST CONTROL: REFER TO THE SPECIFICATIONS
- SITE SAFETY: REFER TO THE SPECIFICATIONS
- CONTRACTOR SHALL SECURE THE JOB SITE AT THE END OF EACH WORK DAY.

GENERAL REGULATORY NOTES

- WORK SHALL BE EXECUTED IN FULL COMPLIANCE WITH THE APPLICABLE PROVISIONS OF ALL LAWS, BY-LAWS, STATUTES, ORDINANCES, CODES, RULES, REGULATIONS, AND LAWFUL ORDERS OF PUBLIC AUTHORITIES BEARING ON THE PERFORMANCE AND EXECUTION OF THE WORK.
- ALL APPLICABLE CODES FOR THIS CONTRACT SHALL BE THE LATEST EDITIONS OR REVISIONS IN FORCE AT THE TIME THE CONTRACT IS ADVERTISED
- UNLESS OTHERWISE SPECIFIED, ALL WORK SHALL COMPLY WITH THE NEW YORK CITY BUILDING CODE AND THE SAFETY CODE FOR ELEVATORS, DUMBWAITERS AND ESCALATORS (ASME A17.1 - YEAR 2000 WITH 2003 ADDENDUM) AS REFERRED TO IN THE N.Y.C BUILDING CODE APPENDIX "K". IN ADDITION, THE WORK SHALL ALSO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADAAG) AND UNIFORMED FEDERAL ACCESSIBILITY STANDARDS (UFAS) AND N.Y.C. LOCAL LAW 58/87.
- ALL ELECTRICAL WORK, INSTALLATION, WIRING AND EQUIPMENT SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE (NEC), CURRENT EDITION, NFPA70, AS AMENDED, AND THE NEW YORK CITY ELECTRICAL CODE, CURRENT EDITION.
- ALL ELECTRICAL WORK MUST BE PERFORMED BY NEW YORK CITY LICENSED ELECTRICIANS, WHO SHALL ARRANGE AND OBTAIN ALL NECESSARY ELECTRICAL PERMITS, INSPECTIONS AND SIGN-OFFS.
- PREPARE AND SUBMIT TO MUNICIPAL AGENCIES HAVING JURISDICTION ALL DRAWINGS AND APPLICATIONS REQUIRED BY THEM. OBTAIN ALL NECESSARY PERMITS AND CERTIFICATES OF COMPLIANCE FROM SUCH AGENCIES AND DELIVER SAME TO THE AUTHORITY. COPIES OF THE PERMITS MUST BE SUBMITTED TO NYCHA REPRESENTATIVE FOR THE FIRST PHASE OF THE REHABILITATION DURING THE PRE START-UP MEETING. COPIES OF THE PERMITS FOR ALL SUBSEQUENT PHASES MUST BE SUBMITTED TO NYCHA REPRESENTATIVE TWO (2) WEEKS PRIOR TO START OF THE NEW PHASE. PERMITS MUST BE POSTED AT THE JOB SITE.
- WHEN THE ELEVATOR WORK IS COMPLETED, CONDUCT OPERATING TESTS TO THE SATISFACTION OF THE AUTHORITY AND THE APPROPRIATE CITY AGENCIES HAVING JURISDICTION. THE INSPECTION PROCEDURE OUTLINED IN THE ASME A17.2 FOR THE INSPECTION OF ELEVATORS, ESCALATORS AND MOVING WALKS WILL FORM A PART OF THE FINAL INSPECTION.
- THE CONTRACTOR'S LICENSED PROFESSIONAL IS RESPONSIBLE FOR FILING APPLICATION AND OBTAINING PERMITS FOR SCAFFOLDING, BRIDGING, ANY OTHER CONSTRUCTION EQUIPMENT OF PUBLIC PROTECTIVES REQUIRED TO ENSURE SAFETY OF OPERATION AND THE PUBLIC AS PER 2014 NYC BUILDING CODE, CHAPTER 33, SECTION BC 3307.

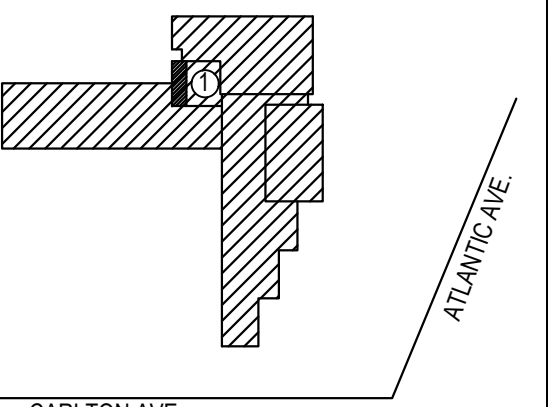
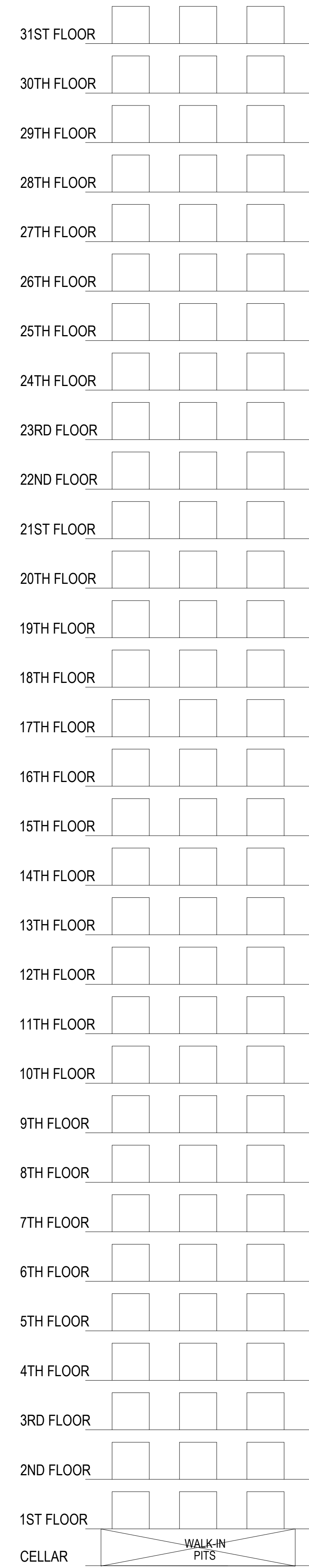
LEGEND



SECTION DESIGNATION

ABBREVIATIONS

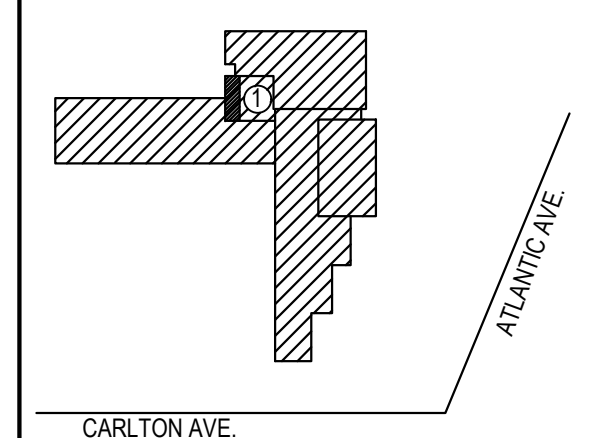
AC	ALTERNATING CURRENT
A.F.F.	ABOVE FINISHED FLOOR
A.K.A.	ABBREVIATION KNOWN AS
AHJ	AGENCY HAVING JURISDICTION
B-B	BACK TO BACK
CLR	CLEAR
CWT	COUNTERWEIGHT
DWG	DRAWING
F-F	FACE TO FACE
FH	FLAT HEAD
GA	GAUGE
GFI	GROUND FAULT CIRCUIT INTERRUPTER
LBS.	POUNDS
MAX.	MAXIMUM
NYCHA OR H.A	NEW YORK CITY HOUSING AUTHORITY OR HOUSING AUTHORITY
PLC	PROGRAMMABLE LOGIC CONTROLLER
OPNG	OPENING
SPECS	SPECIFICATIONS
TYP	TYPICAL
VVVF	VARIABLE VOLTAGE VARIABLE FREQUENCY



KEY PLAN

BY	DATE	Rev. No.	SUBMISSION

Development: ATLANTIC TERMINAL SITE 4B
 Building Address: 487 Carlton Avenue
 Building No.(s): 1
 Borough of: Brooklyn
 ORACLE No: 9161



KEY PLAN

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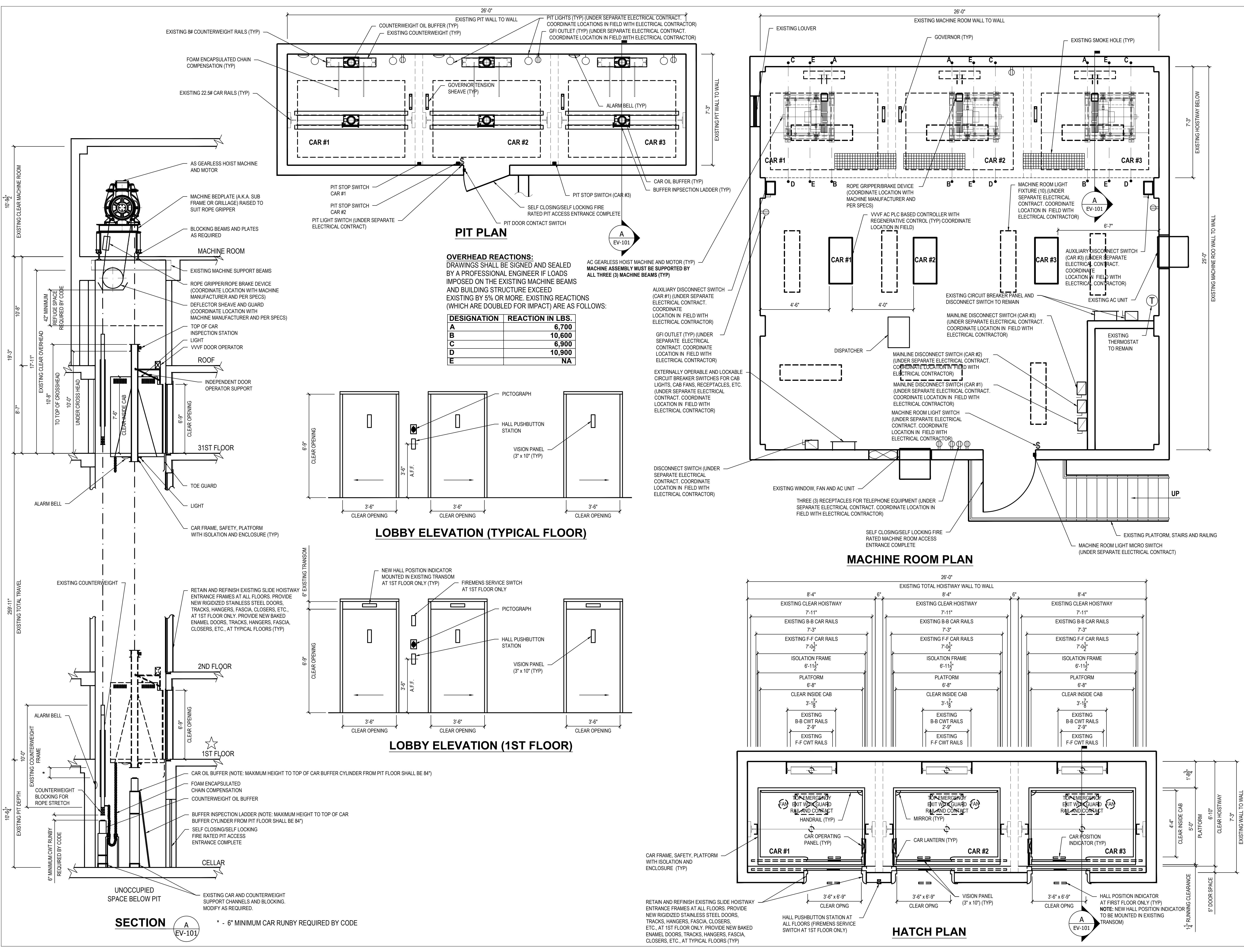
Drawing Title: ELEVATOR LAYOUTS

Seal & Signature:

Drawn By: Jay Namenwrth
 Checked By: Daniel Michaels
 Date: March 25, 2021
 Scale: N.T.S.

Drawing No.: EV-101.00

Sheet: 3 OF 5



PIT PLAN

OVERHEAD REACTIONS:
 DRAWINGS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER IF LOADS IMPOSED ON THE EXISTING MACHINE BEAMS AND BUILDING STRUCTURE EXCEED EXISTING BY 5% OR MORE. EXISTING REACTIONS (WHICH ARE DOUBLED FOR IMPACT) ARE AS FOLLOWS:

DESIGNATION	REACTION IN LBS.
A	6,700
B	10,600
C	6,900
D	10,900
E	NA

LOBBY ELEVATION (TYPICAL FLOOR)

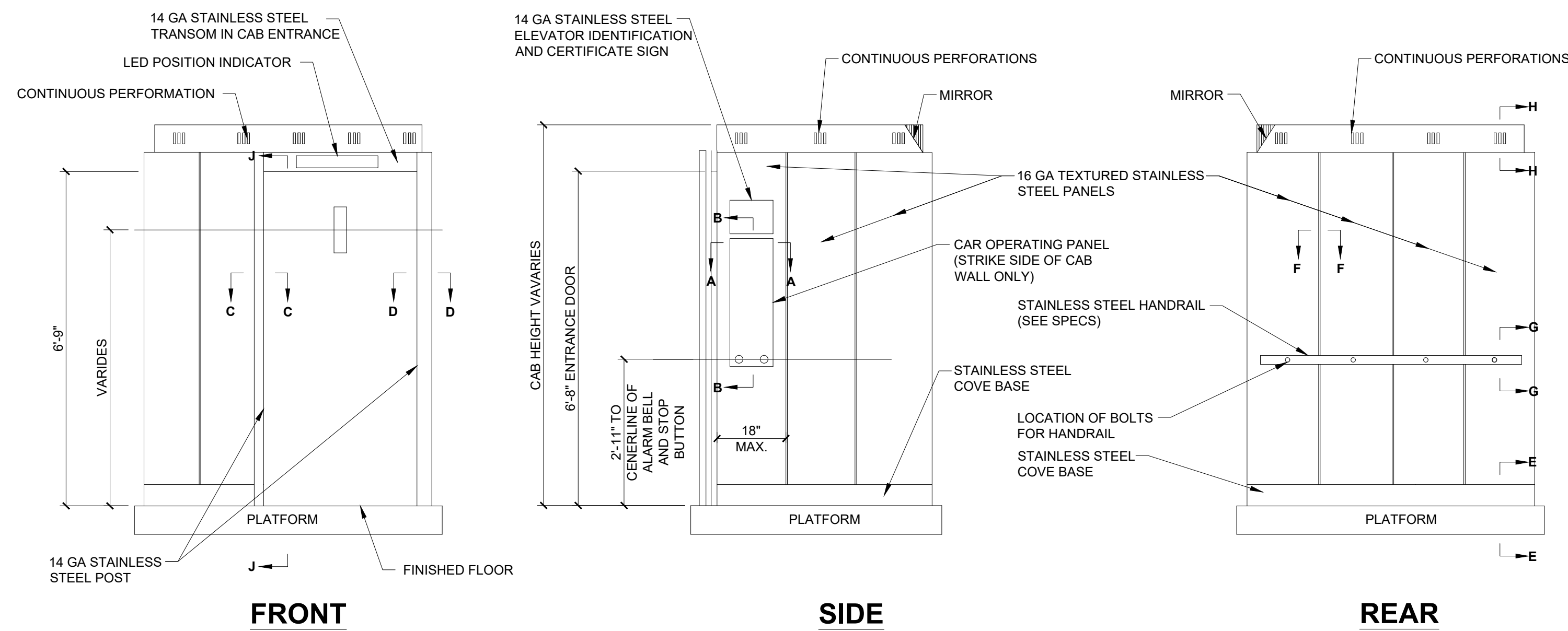
LOBBY ELEVATION (1ST FLOOR)

MACHINE ROOM PLAN

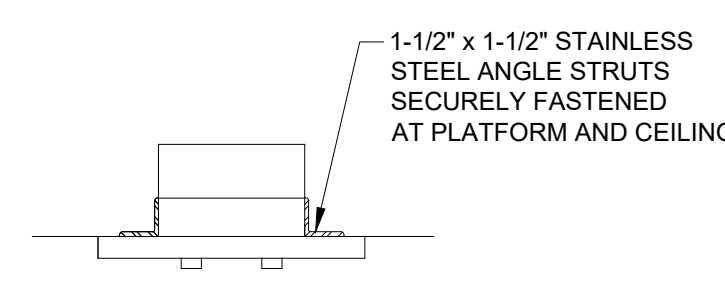
HATCH PLAN

SECTION A
EV-101

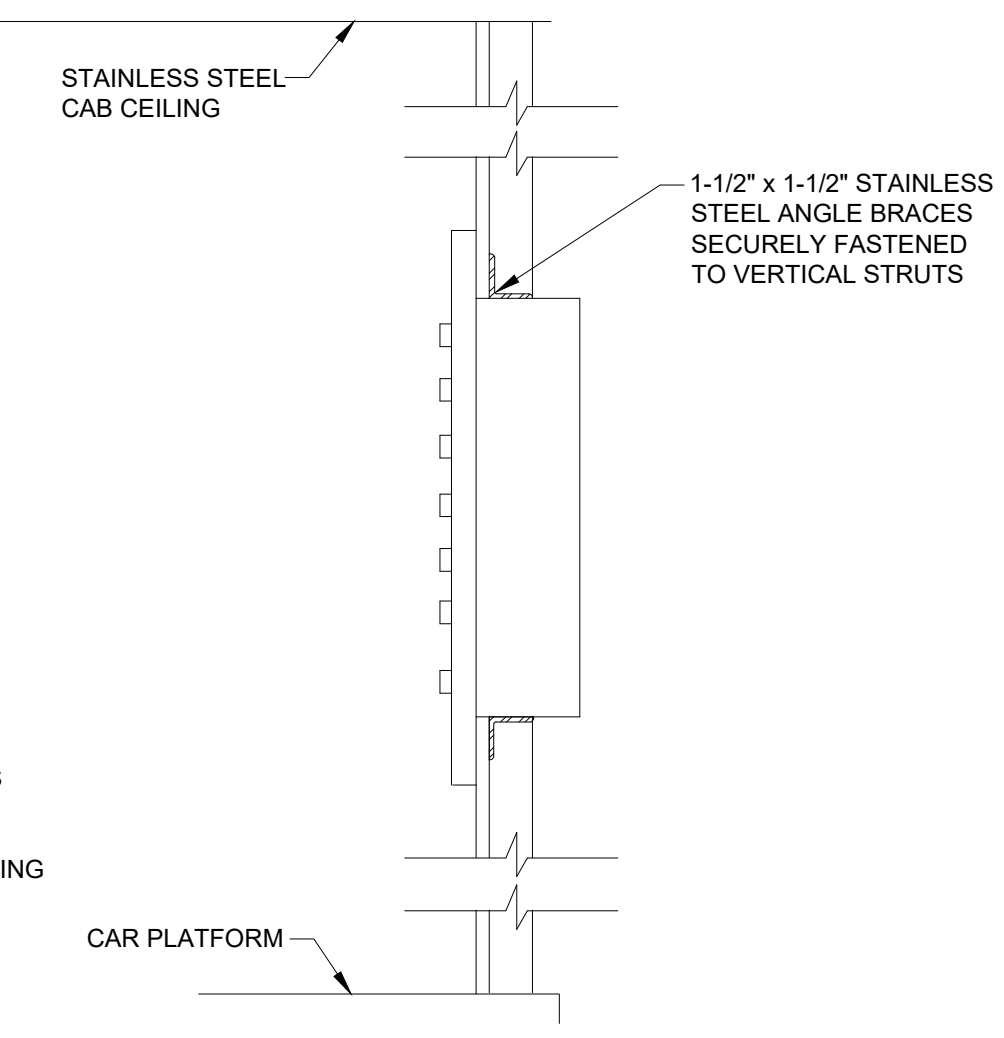
* - 6" MINIMUM CAR RUNBY REQUIRED BY CODE



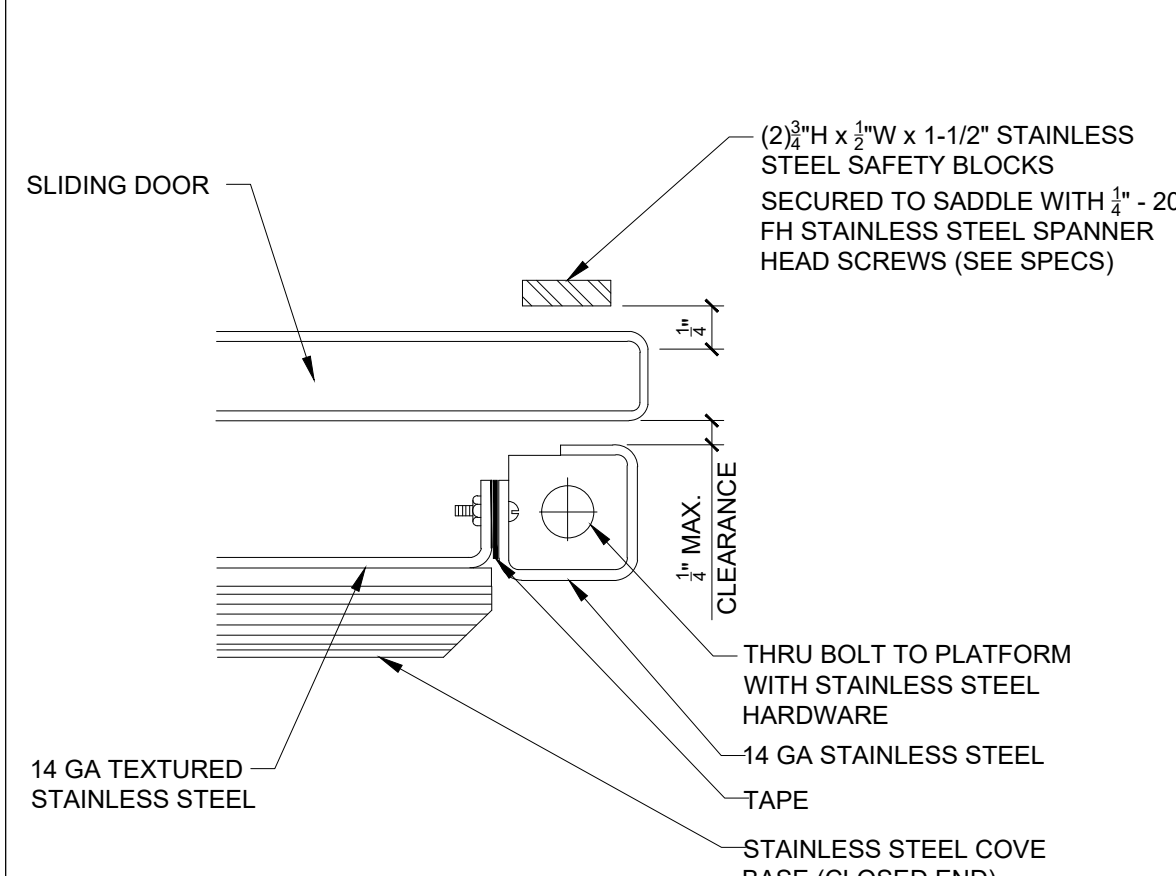
INTERIOR ELEVATION OF CAB



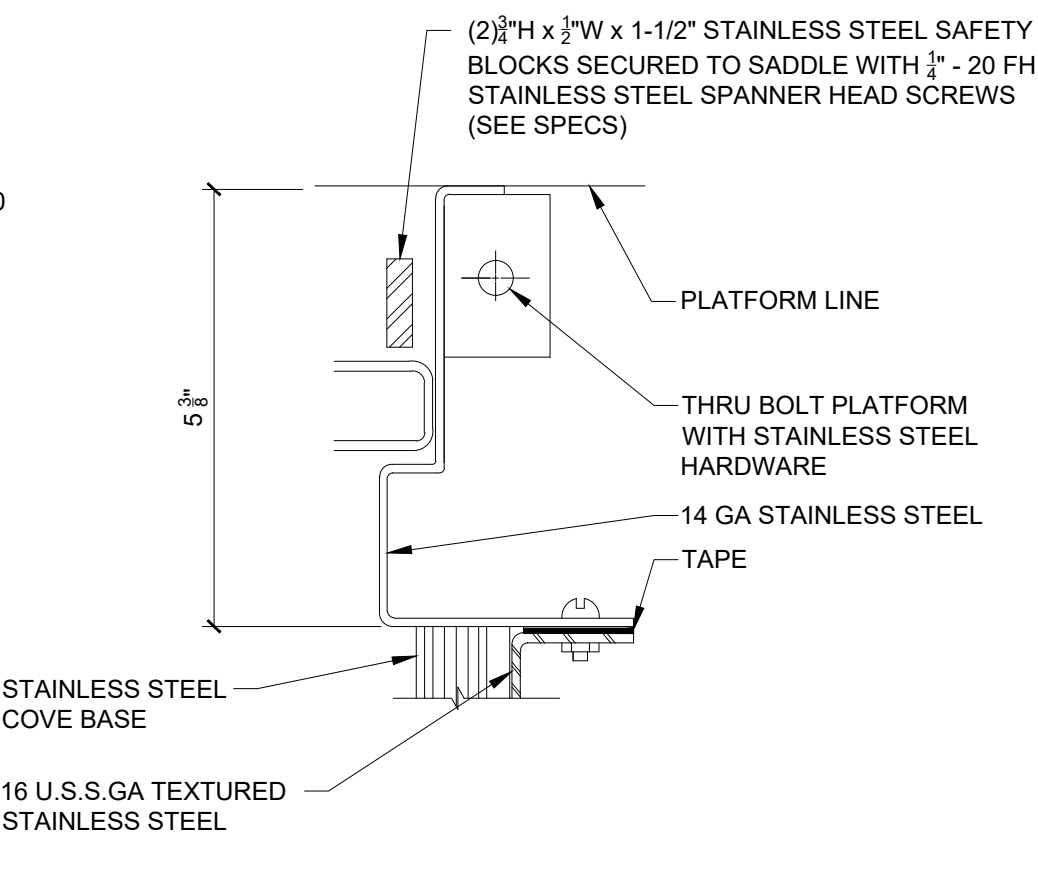
SECTION A-A



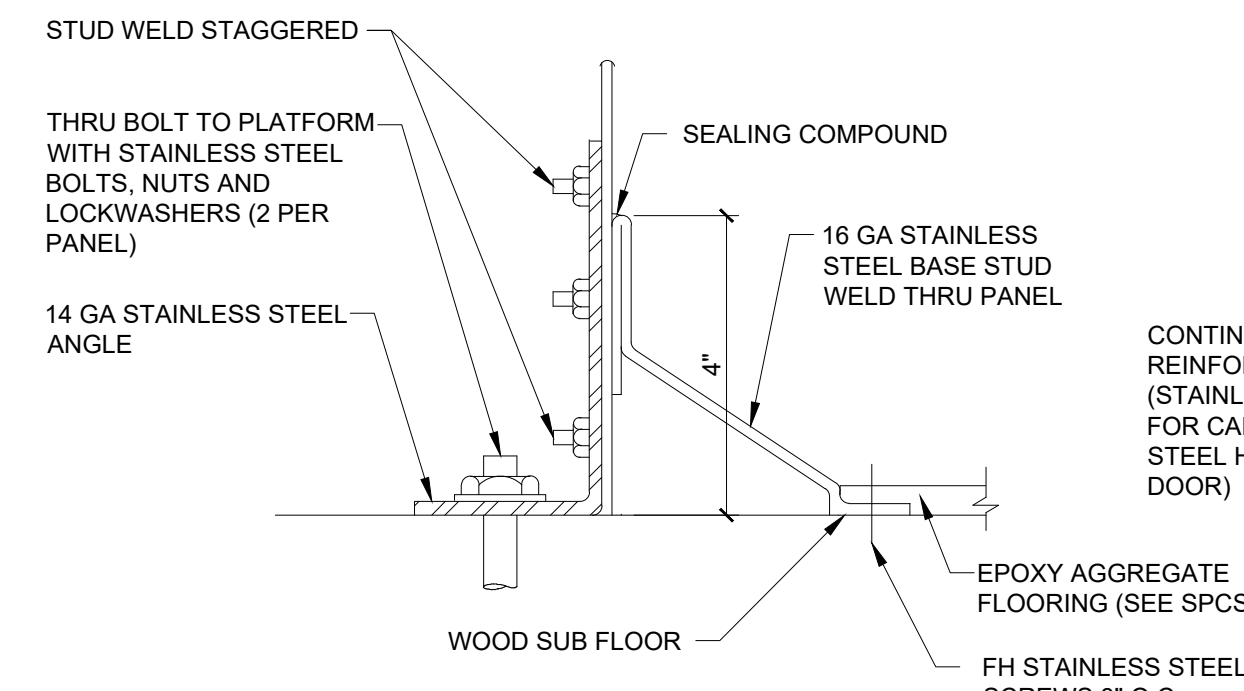
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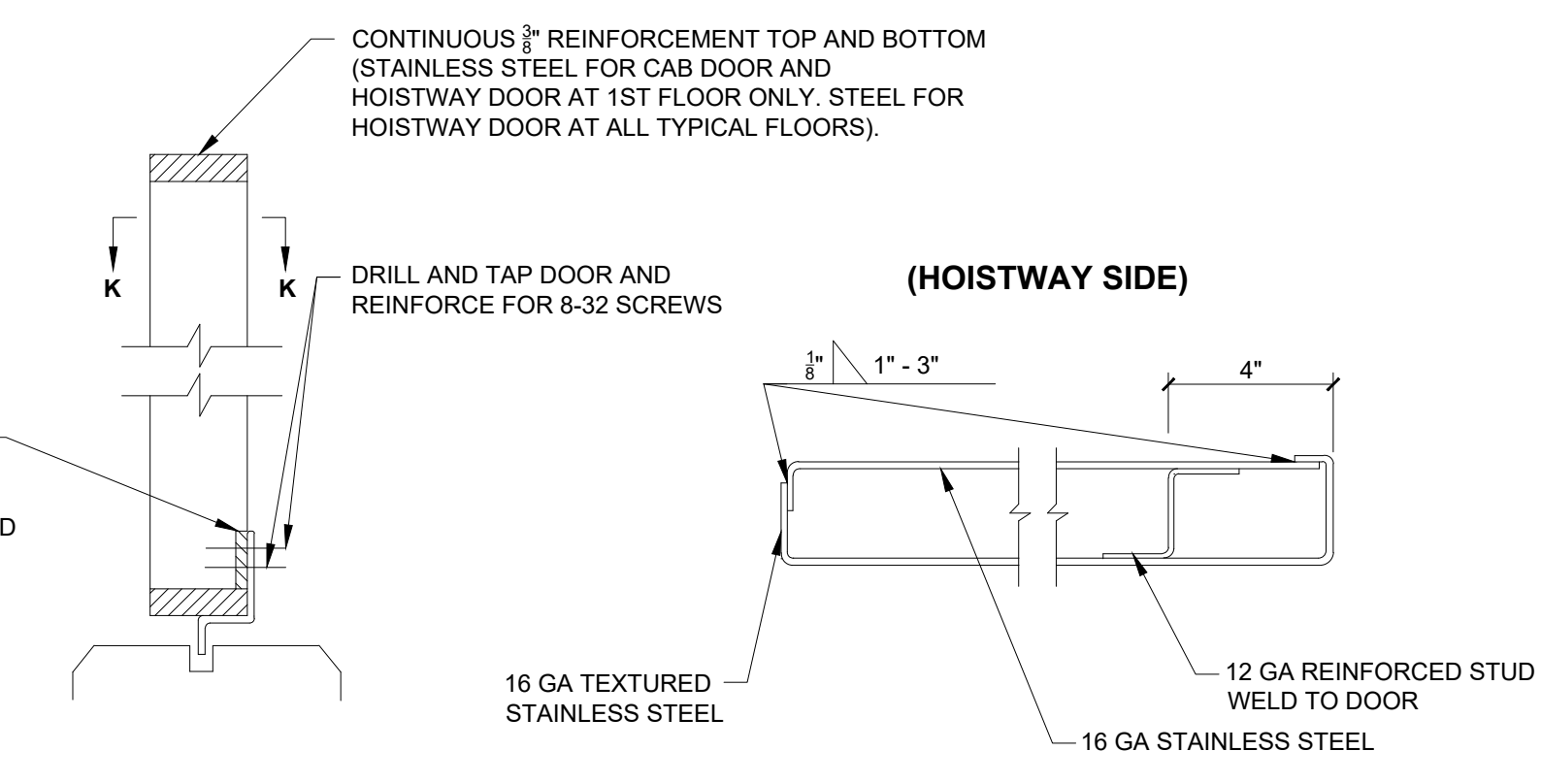
**SECTION C-C
VIEW OF RETURN POST**



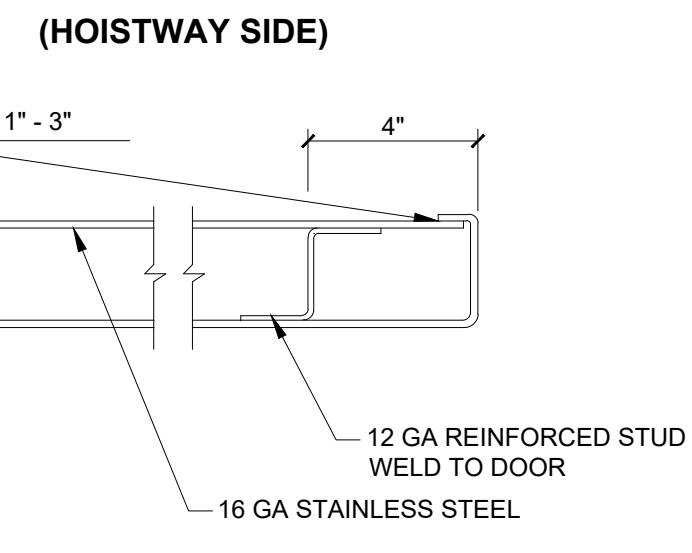
**SECTION D-D
VIEW OF STRIKE POST**



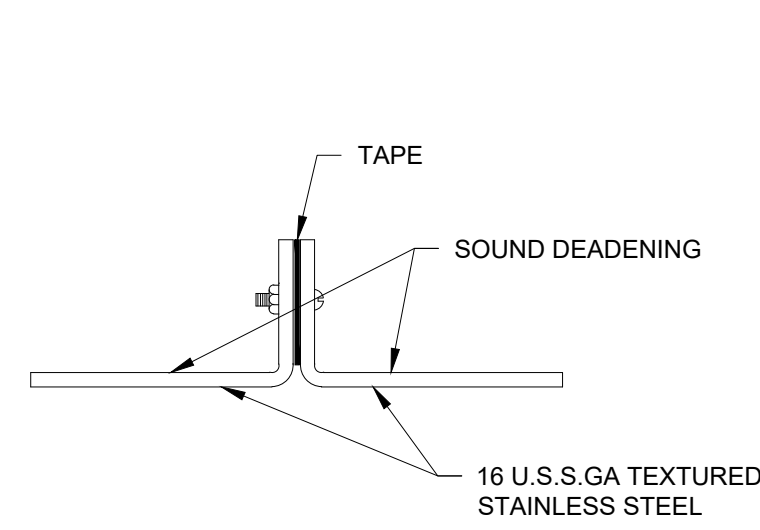
SECTION E-E



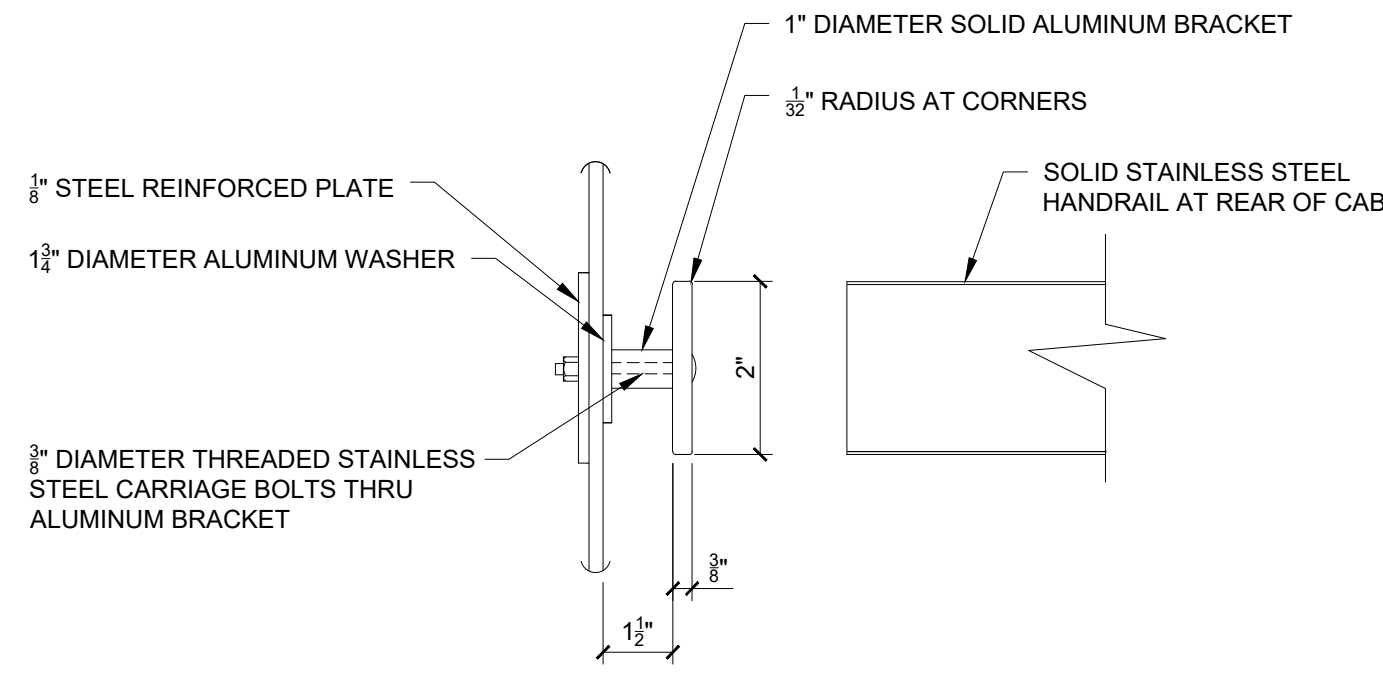
**SECTION J-J
SLIDING DOOR**



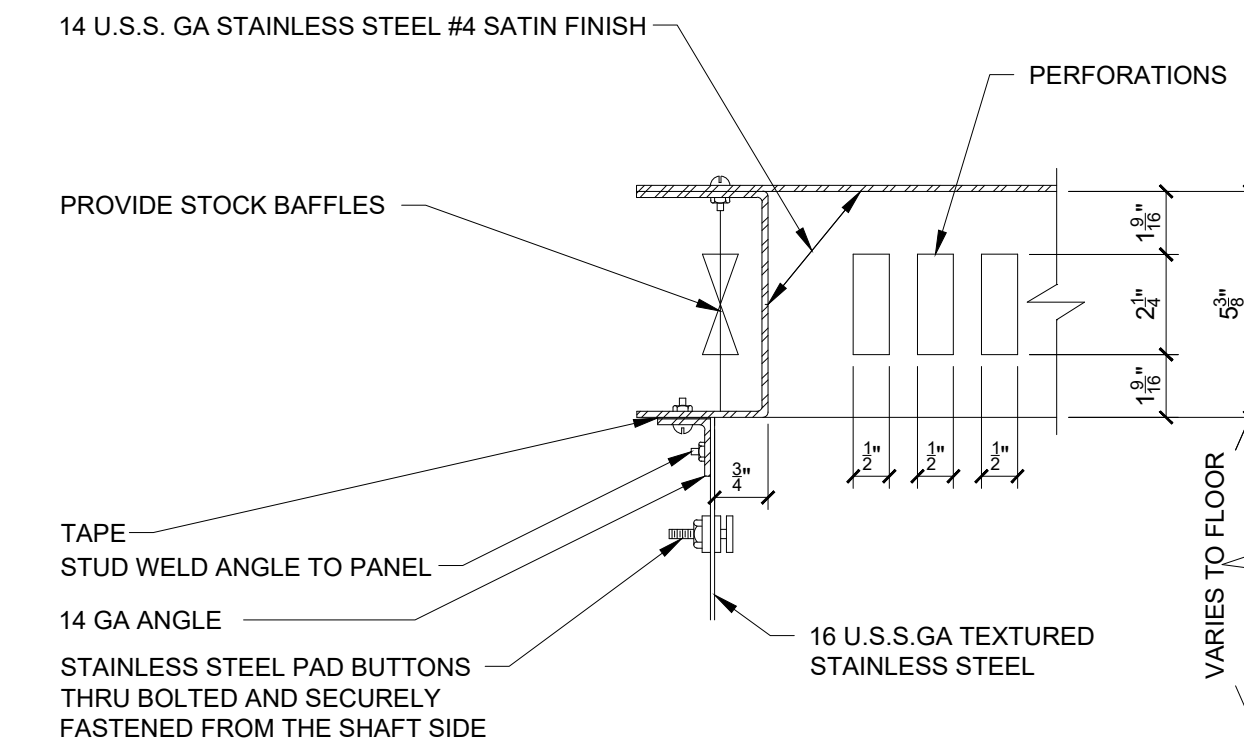
**SECTION K-K
CAB DOOR**



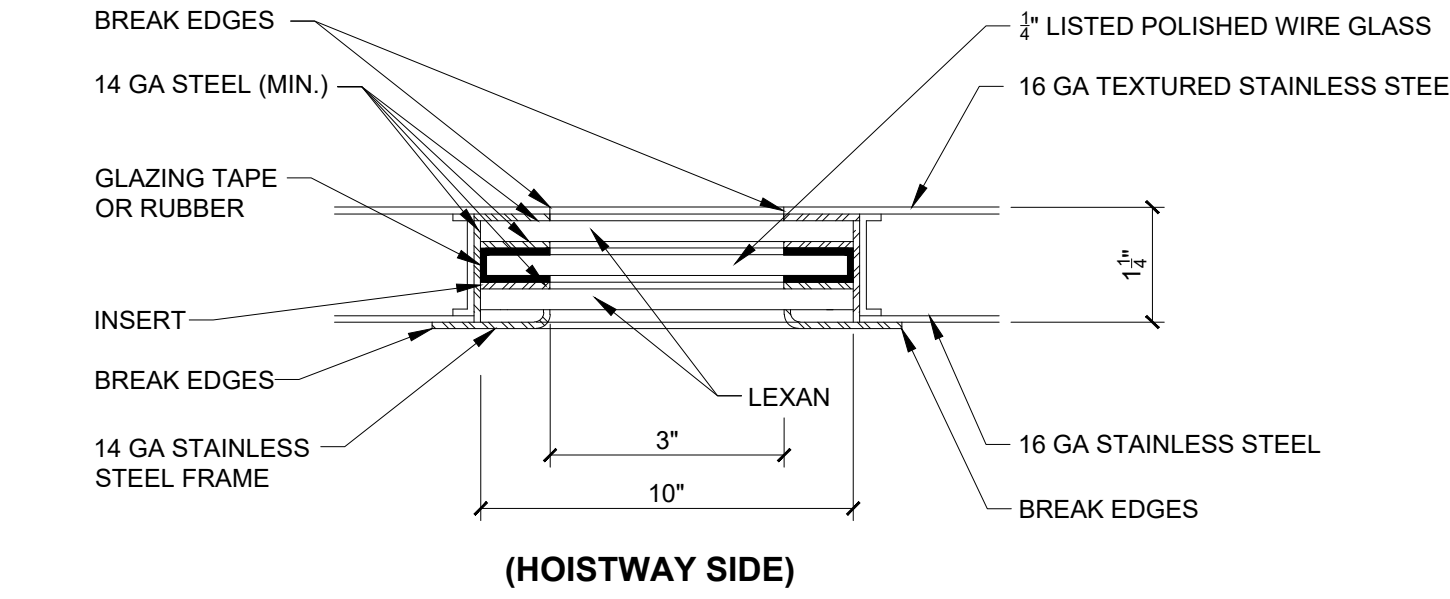
SECTION F-F



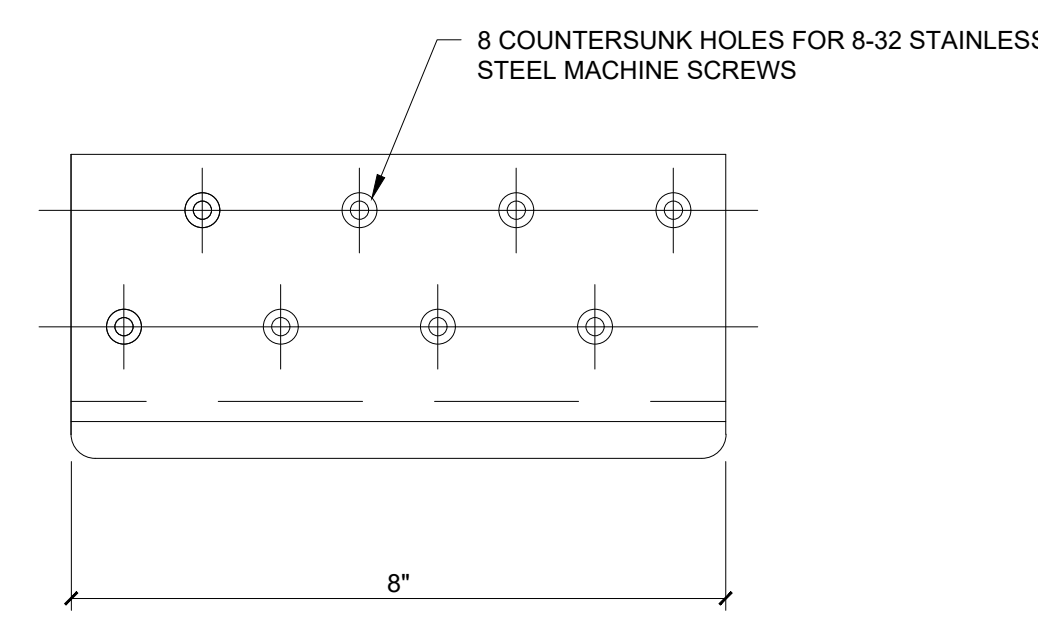
SECTION G-G



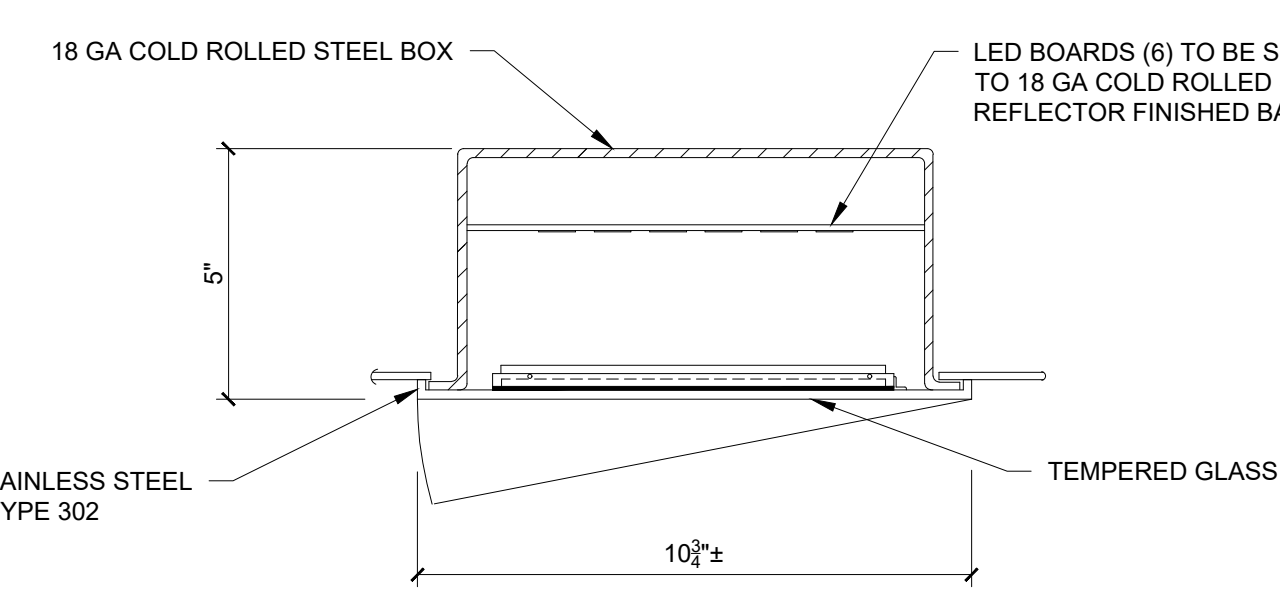
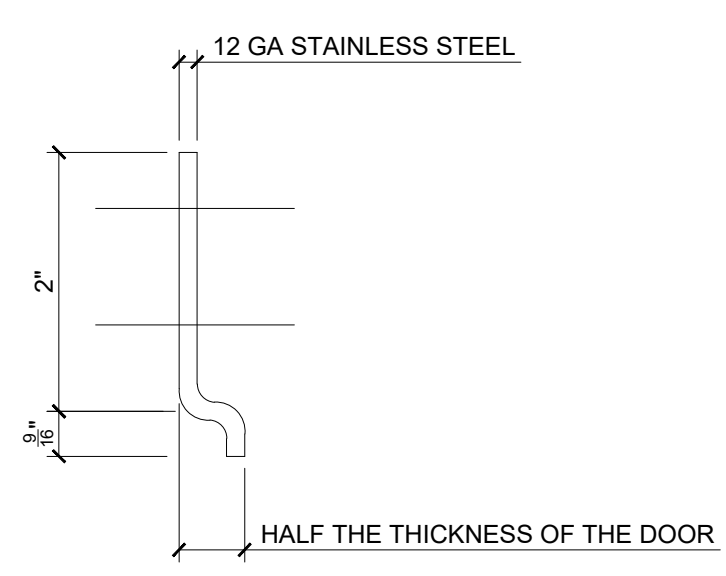
SECTION H-H



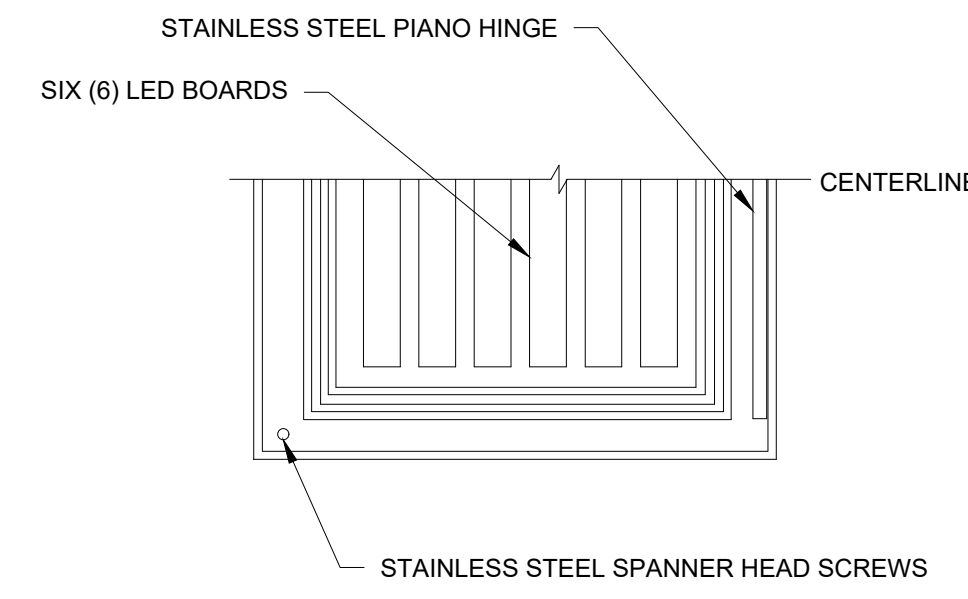
CAB VISION PANEL



SAFETY "Z" BAR GUIDE



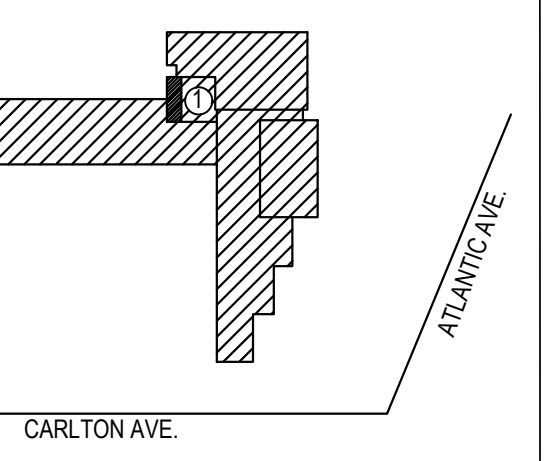
SECTION THRU CAB LIGHT FIXTURE



HALF PLAN CAB LIGHT FIXTURE

BY	Rev. No.	SUBMISSION

Development:
 ATLANTIC TERMINAL SITE 4B
 Building Address:
 487 CARLTON AVENUE
 Building No.(s): 1
 Borough of: BROOKLYN
 ORACLE No: 9161



KEY PLAN

Zone No.: R7-2 Zoning Map No.: 16c
 Block No.: 2007 Lot No.: 1
 E.D.P. No.: 384
 Development No.: NY005189

Contract Title:
 ELEVATOR REHABILITATION AND
 MAINTENANCE AND SERVICE
 FOR THREE (3) ELEVATORS -
 ELEVATOR PACKAGE
 RFQ No.: 293849

Drawing Title:
**NYCHA STANDARD
 ELEVATOR CAB AND
 ENTRANCE DETAILS**

Seal & Signature:

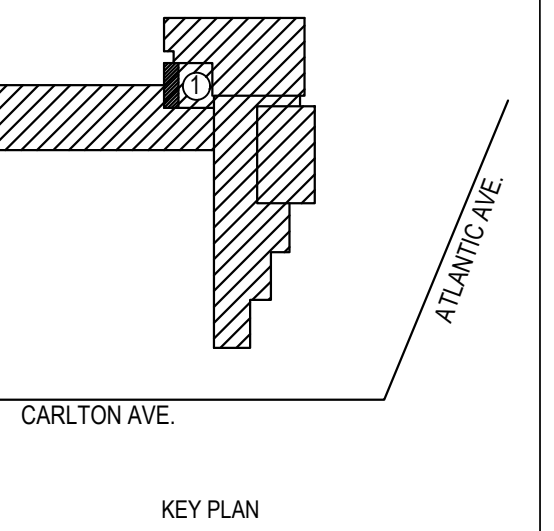
Drawn By: Jay Namenwirth
 Checked By: Daniel Michaels
 Date: October 30, 2014
 Scale: N.T.S.

Drawing No.: **EV-201.00**

Sheet: 4 OF 5

BY	DATE	Rev. No.	SUBMISSION
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Development:
ATLANTIC TERMINAL SITE 4B
Building Address:
487 CARLTON AVENUE
Building No.(s): 1
Borough of: BROOKLYN
ORACLE No: 9161



Zone No.: R7-2 Zoning Map No.: 16c
Block No.: 2007 Lot No.: 1
E.D.P. No.: 384
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ELEVATOR REHABILITATION AND
MAINTENANCE AND SERVICE FOR
THREE (3) ELEVATORS -
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RFQ No.: 293849

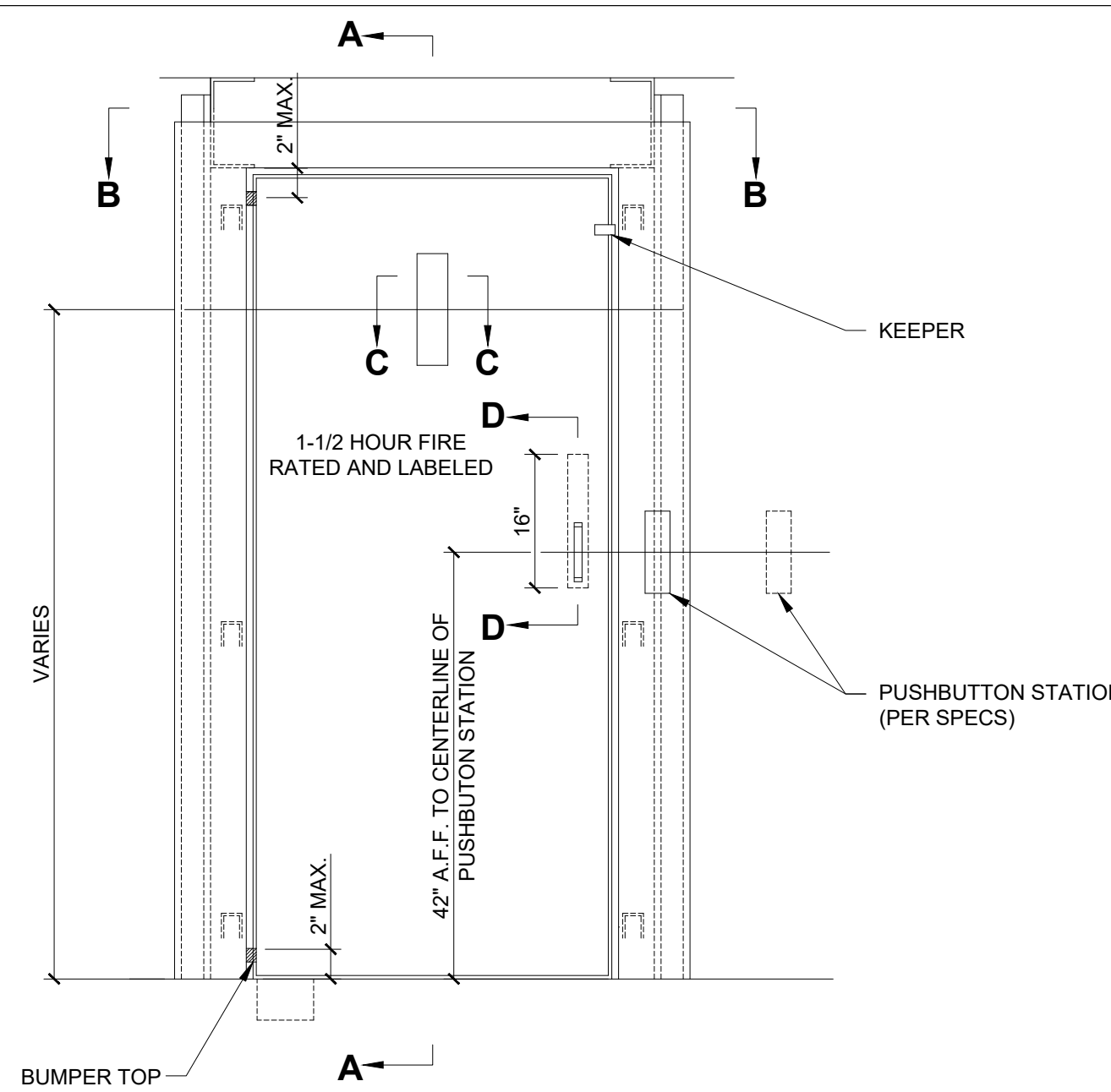
Drawing Title:
**NYCHA STANDARD
ELEVATOR CAB AND
ENTRANCE DETAILS**

Seal & Signature:

Drawn By: Jay Namenwrith
Checked By: Daniel Michaels
Date: October 30, 2014
Scale: N.T.S.

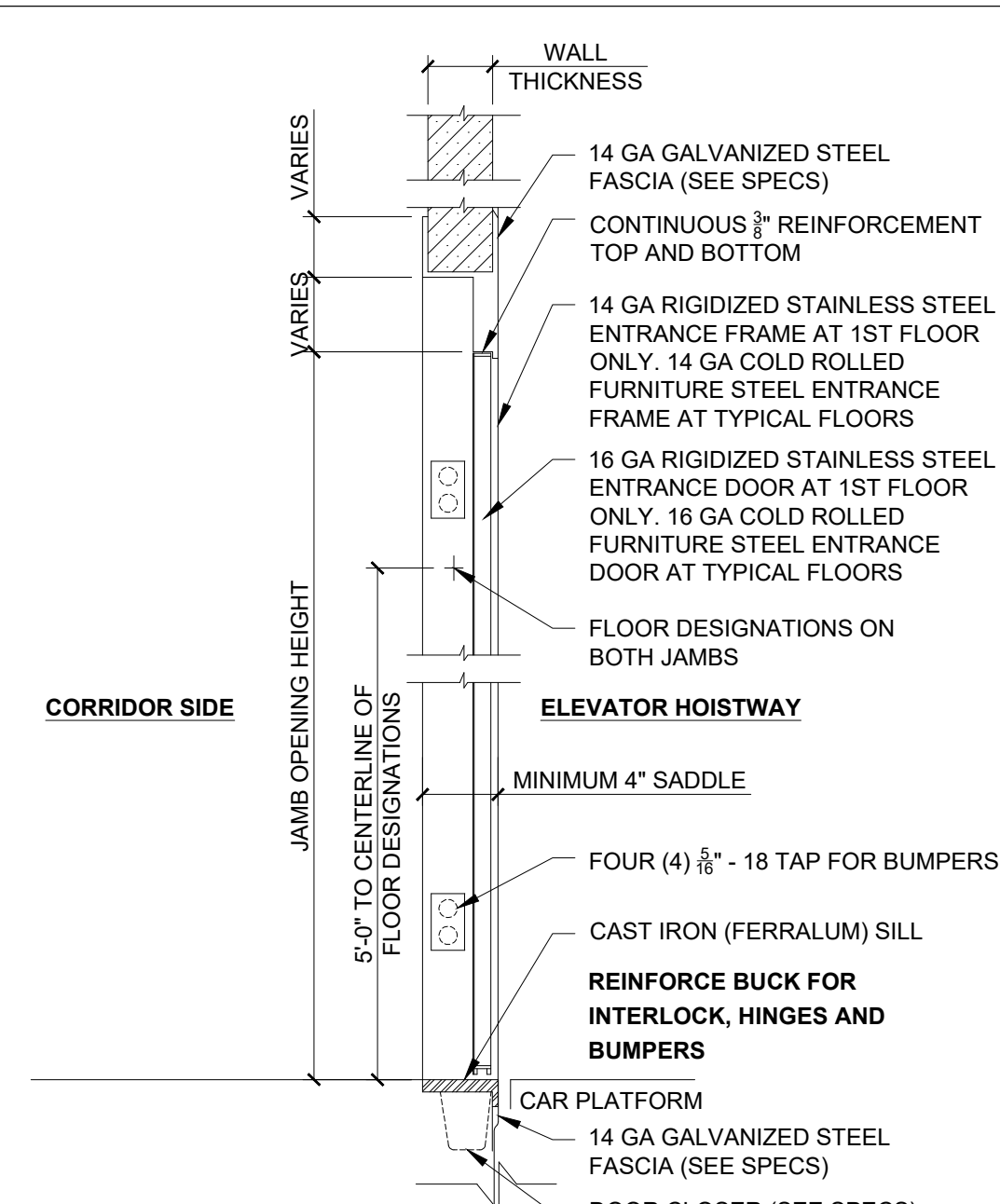
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Sheet: 5 OF 5



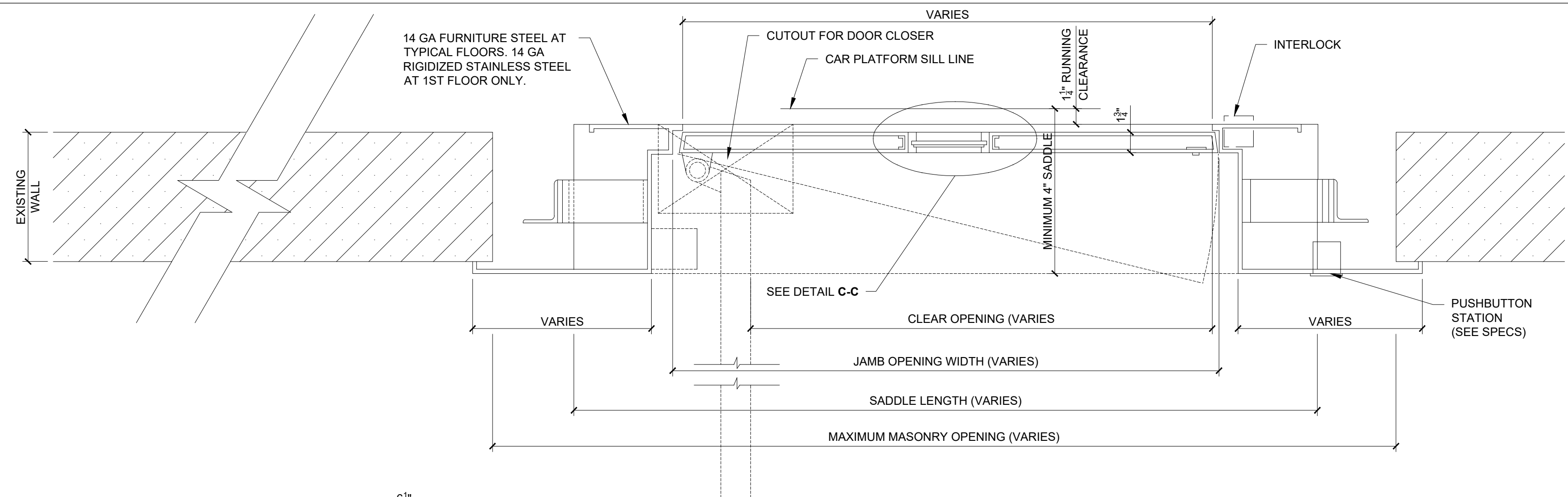
**LOBBY ELEVATION
SWING ENTRANCE**

(SWING ENTRANCE - IF APPLICABLE SEE SPECS)



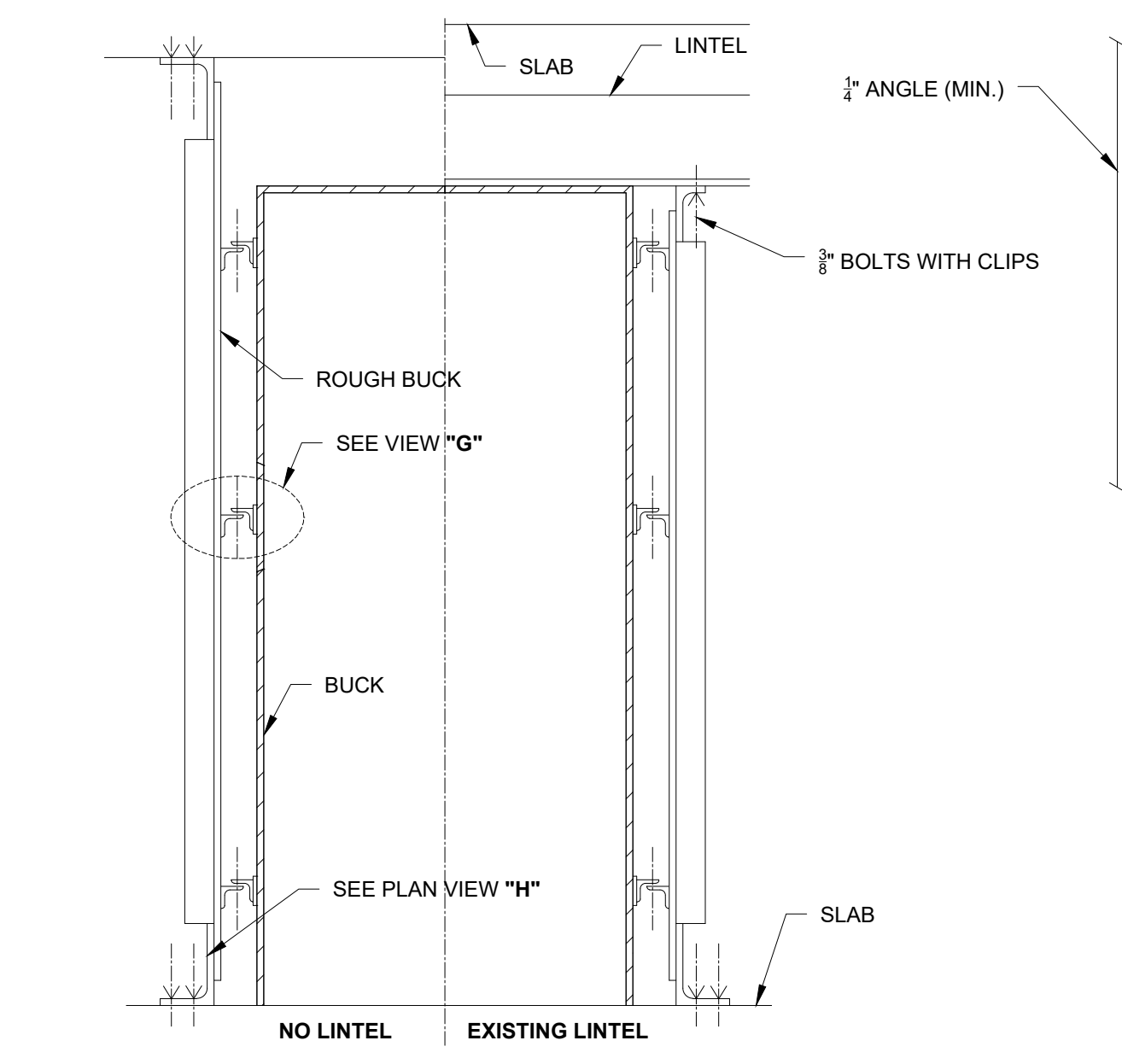
**SECTION A-A
SWING ENTRANCE**

(SWING ENTRANCE - IF APPLICABLE SEE SPECS)



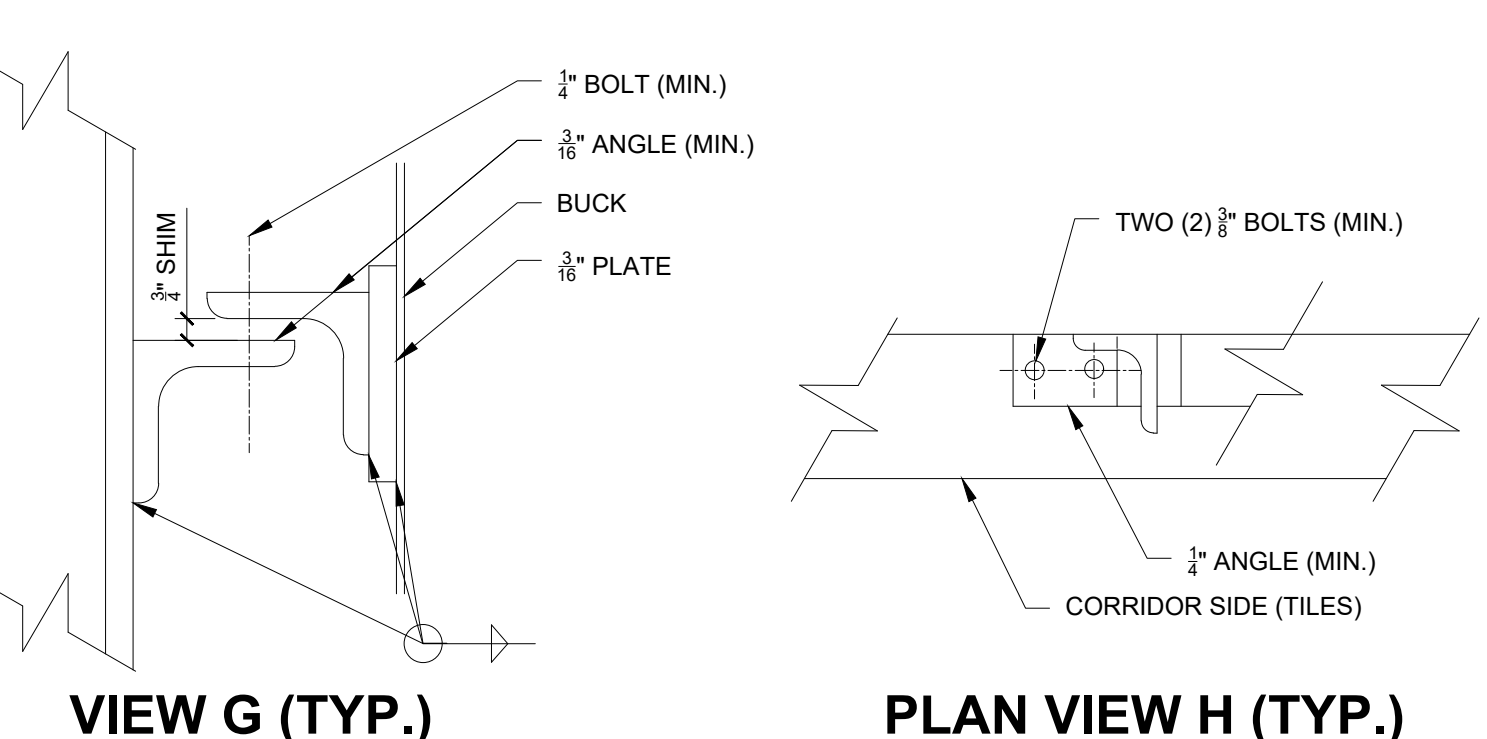
**SECTION B-B
PLAN OF HOISTWAY DOOR AND BUCK**

(SWING ENTRANCE - IF APPLICABLE SEE SPECS)



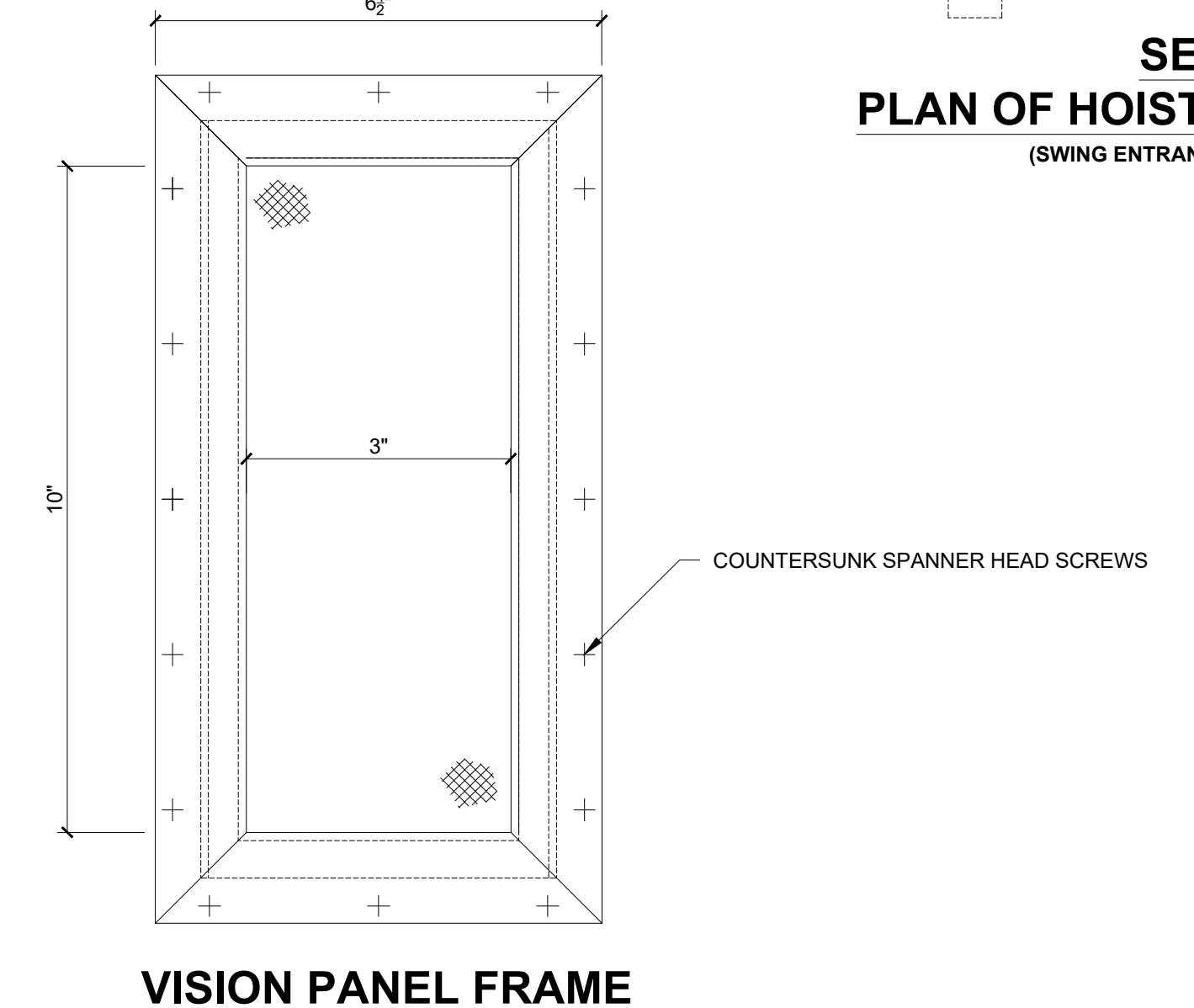
DETAIL OF ROUGH BUCK

NOTE:
TILE NOT COVERED BY THE BUCK MUST REMAIN IN TACT.
ALL TYPICAL DETAILS APPLY TO BOTH EXISTING CONDITIONS
SHOWN (WITH OR WITHOUT LINTELS)

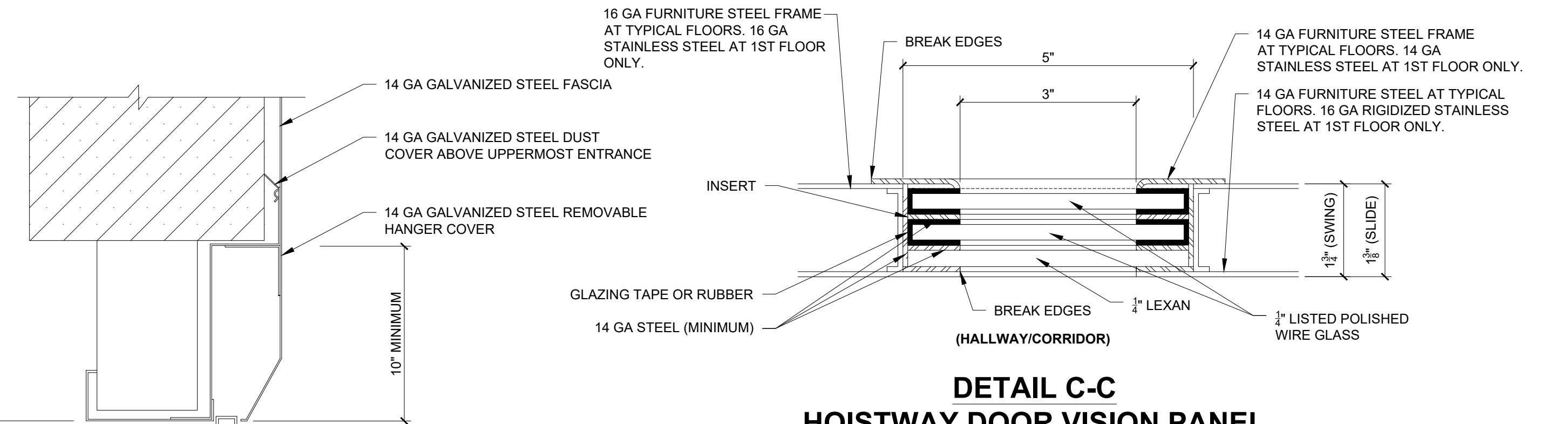


VIEW G (TYP.)

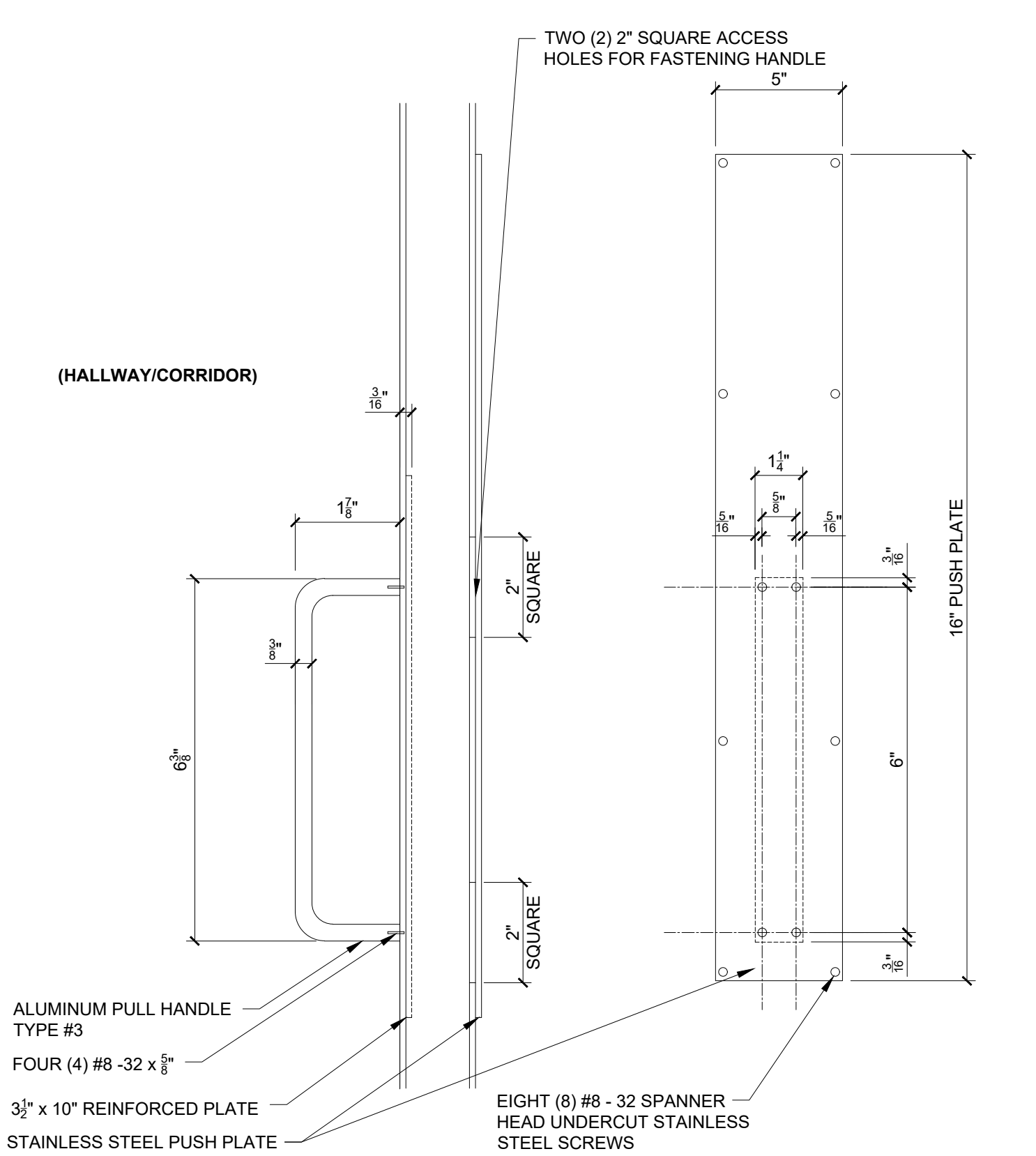
PLAN VIEW H (TYP.)



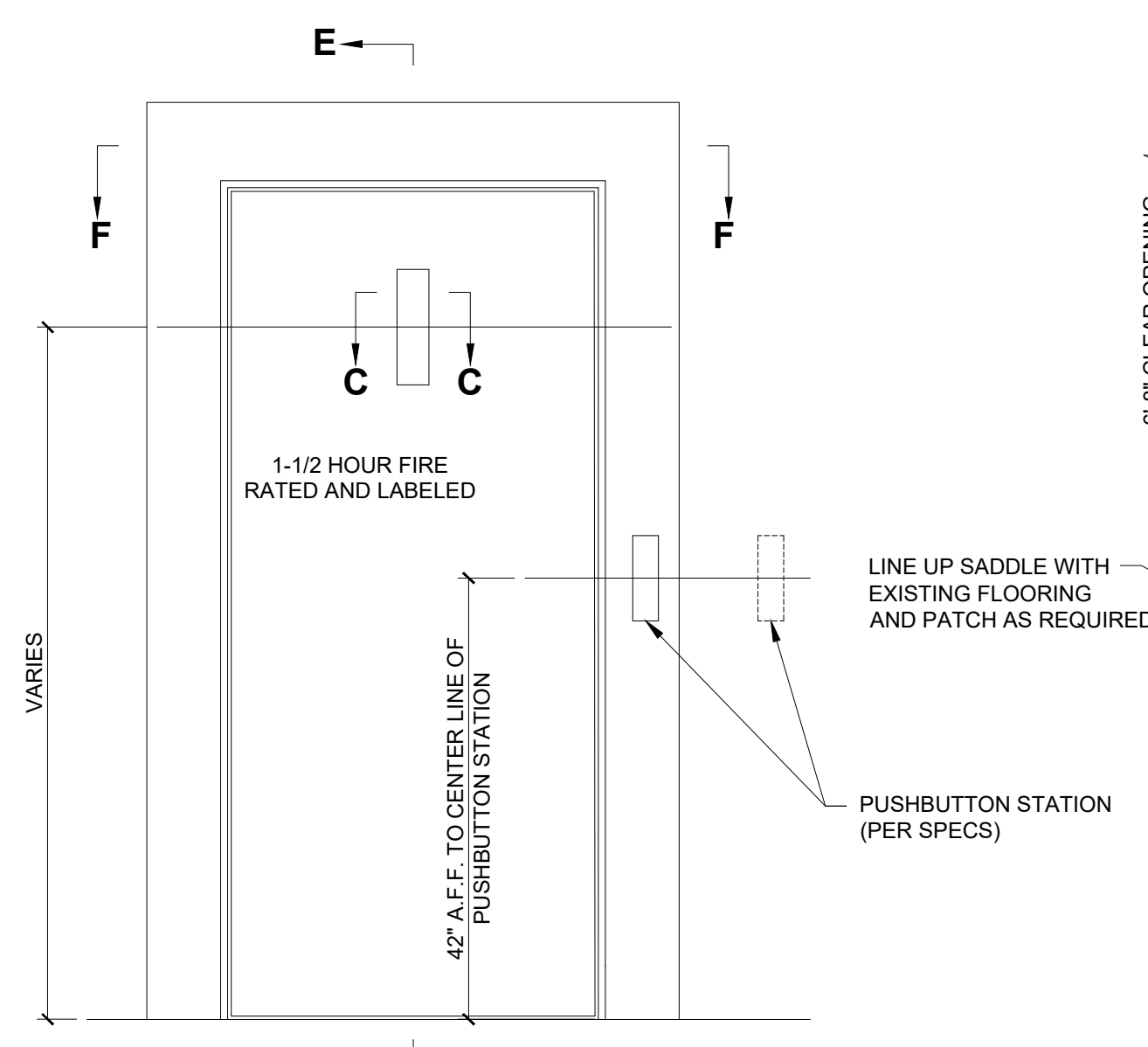
VISION PANEL FRAME



**DETAIL C-C
HOISTWAY DOOR VISION PANEL**

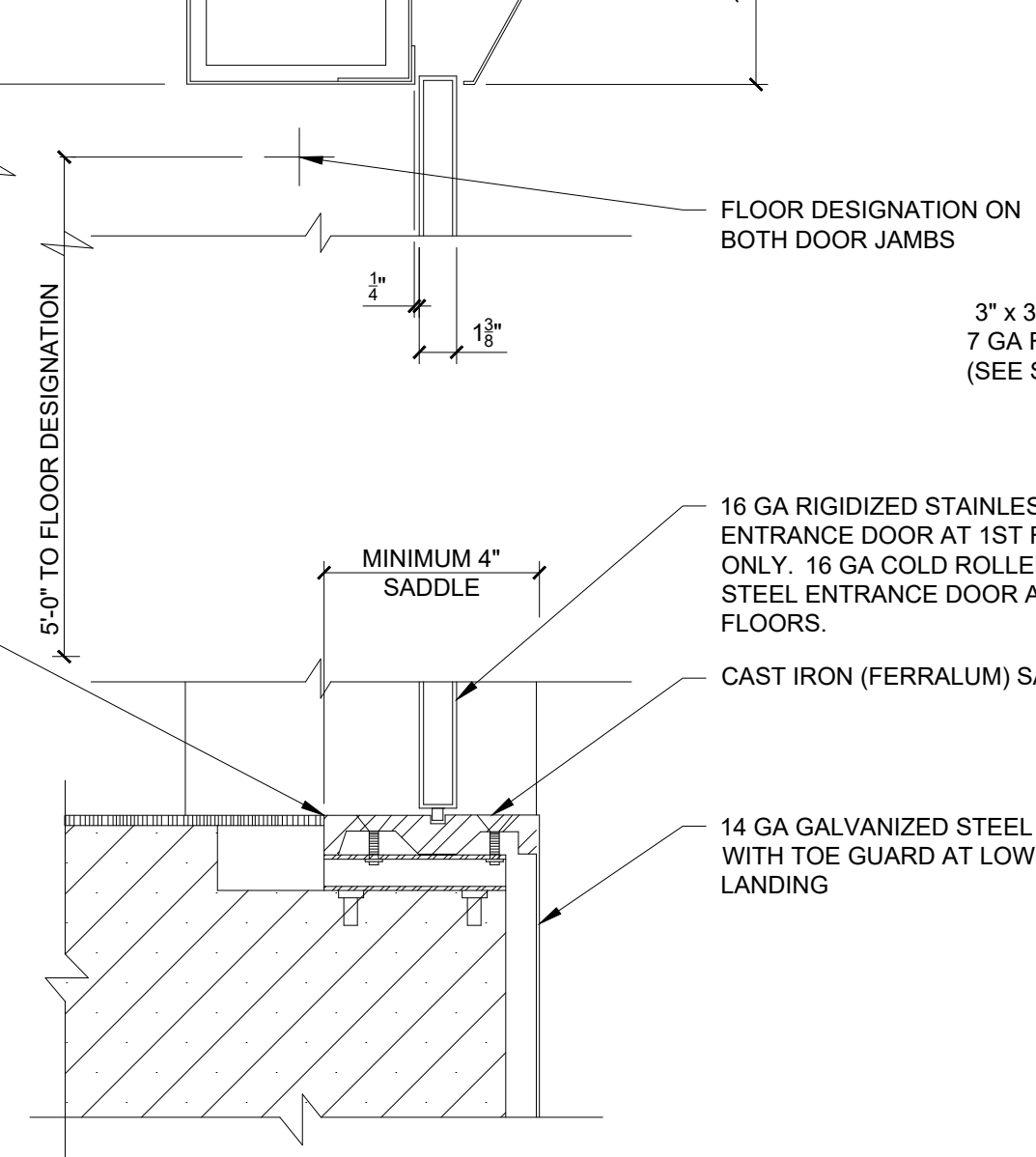


**DETAIL D-D
PULL HANDLE**



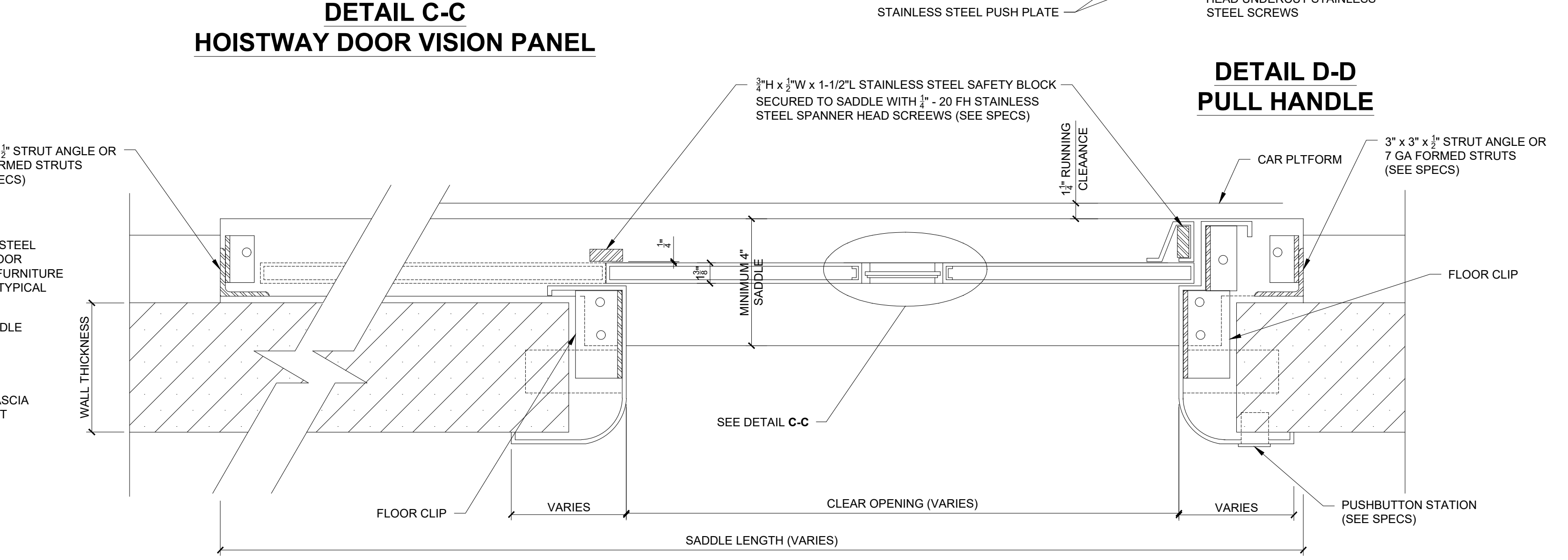
**LOBBY ELEVATION
(SLIDE ENTRANCE)**

(SLIDE ENTRANCE - IF APPLICABLE SEE SPECS)



**SECTION E-E
(SLIDE ENTRANCE)**

(SLIDE ENTRANCE - IF APPLICABLE SEE SPECS)



**SECTION F-F
(PLAN OF HOISTWAY DOOR AND BUCK)**

(SLIDE ENTRANCE - IF APPLICABLE SEE SPECS)